

Item No 03:-

16/05371/FUL

**Hare and Hounds
Fosse Cross
Chedworth
Cheltenham
Gloucestershire
GL54 4NN**

Item No 03:-**Erection of 28 hotel bedrooms and dining pavilion, creation of car parking and new access and use of barn as plant room at Hare and Hounds Fosse Cross Chedworth Cheltenham Gloucestershire GL54 4NN**

Full Application 16/05371/FUL	
Applicant:	Cripps Barn Group Ltd
Agent:	Millar Howard Workshop Ltd
Case Officer:	Martin Perks
Ward Member(s):	Councillor Jenny Forde
Committee Date:	13th September 2017
RECOMMENDATION:	PERMIT subject to No Objection from Gloucestershire County Council Highways or the Council's Tree Officer

Main Issues:

- (a) Economic Development in a Rural Area
- (b) Design and Impact on Setting and Special Interest of a Listed Building
- (c) Impact on Character and Appearance of the Cotswolds Area of Outstanding Natural Beauty
- (d) Arboricultural Impact
- (e) Access and Highway Safety
- (f) Impact on Protected Species
- (g) Impact on Residential Amenity

Reasons for Referral:

This application has been referred to Planning and Licensing Committee at the request of Cllr Forde for the following reasons;

'Scale of the development in relation to the listed building and surrounding AONB, in particular the size of the dining room and number of bedrooms.

The visual and physical impact on the landscape, the footpath and the small rural hamlet of Foss Cross.'

1. Site Description:

This application relates to an existing public house located adjacent to the A429 Fosse Way. The site is located approximately 7km to the south of the settlement of Northleach.

The site measures approximately 0.6 hectares in size and is occupied by a Grade II Listed public house (Hare and Hounds), a 10 room accommodation block and associated stone outbuildings. The public house is located in the northern part of the site and sits side on to the A429 which passes in a roughly north south direction adjacent to the eastern boundary of the application site. The north western part of the application site is occupied by a car park. The southern part of the site (approximately 0.23 hectares in size) is occupied by a grassed paddock/field area.

The eastern boundary of the site is defined by low level drystone walling, trees, hedging and the side of the public house and two outbuildings. A grass verge/pavement measuring approximately 8m in width lies between the site and the carriageway of the A429. The northern boundary of the site adjoins a single lane carriageway which serves 8 dwellings located to the north west of the application site. A Public Right of Way (KCH71) extends along the aforementioned lane. The

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nearest residential building to the site is located approximately 270m to its north west. The northern boundary of the site is defined by drystone walling, hedging and an outbuilding.

The western boundary of the site is bordered by a line of leylandii. A belt of deciduous trees measuring approximately 20m in depth lies to the west of the leylandii. To the west of the trees lies an agricultural field. The southern boundary of the site comprises hedgerows and an area of scrubland. The southern tip of the site adjoins a lane leading from the A429 to the village of Calmsden. The lane also serves the District Council's Fosse Cross recycling centre.

The application site is located outside a Development Boundary as designated in the Cotswold District Local Plan 2001-2011.

The site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB).

The site is located within a Flood Zone 1 as designated by the Environment Agency.

The A429 is a class A highway and is subject to a 50mph where it passes the application site. Three lanes adjoin the A429 within close proximity of the application site. As previously mentioned, a lane leading to the village of Calmsden joins the A429 at a point adjacent to the southern boundary of the site. A private road leading to a number of residential dwellings to the north west of the application site has its junction with the A429 adjacent to the northern boundary of the site. Opposite the aforementioned junction lies Fosse Cross Lane which links the A429 to the village of Bibury to the south east.

Vehicular access to the existing public house is via a gap between the rear of the aforementioned building and a detached outbuilding located to its north east. Access to and from the site is via the A429.

2. Relevant Planning History:

CD.6503 Use of barn as lounge and dining room Granted 1983

CD.6503/A Conversion of existing out building to a dwelling unit Granted 1984

CD.6503/B Conversion of barn into a restaurant. Extension to public house to provide a store and WC, erection of a glazed entrance porch. Granted 1985

CD.6503/C Extensions and alterations to existing building to provide a 40 bed budget hotel, car parking and associated works. Withdrawn 1994

CD.6503/D Extensions and alterations to existing building to provide a 40 bed budget hotel, car parking and associated works. Withdrawn 1994

CD.6503/E Erection of 32 budget hotel bedrooms with reception area and sun lounge, conversion of former stable to create 2 disabled person bedrooms, car parking and refurbishment of listed building Granted 1995

CD.6503/F Conversion of former stable/blacksmith shop into two units of disabled person hotel accommodation, erection of sun lounge and refurbishment of listed building Granted 1995

CD.6503/G Alterations to the internal layout and new conservatory Granted 1999

CD.6503/H Alterations to the internal layout and addition of new conservatory Granted 1999

CD.6503/E/1 Renewal of previous consent CD6503/E for the erection of 32 hotel bedrooms, reception area and sun lounge. Conversion of former stable to create 2 disabled person bedrooms, car parking and refurbishment of Listed Building Granted 2001

CD.6503/K Extension to create 10 no. letting bedrooms, 2 no. staff bedrooms and laundry area Granted 2002

04/00321/FUL Extension to create 8 letting bedrooms, 2 staff bedrooms and laundry area, conversion of barn to function room, demolish cart shed. Granted 2004

04/00322/LBC Extension to create 8 letting bedrooms, 2 staff bedrooms and laundry area, conversion of barn to function room, demolish cart shed. Granted 2004

05/01754/ADV Display of a free-standing sign and an additional hanging sign to existing projecting hanging sign Granted 2005

05/01775/LBC Display of additional hanging sign to existing projecting hanging sign Granted 2005

3. Planning Policies:

NPPF National Planning Policy Framework
 LPR05 Pollution and Safety
 LPR09 Biodiversity, Geology and Geomorphology
 LPR10 Trees, Woodlands and Hedgerows
 LPR19 Develop outside Development Boundaries
 LPR24 Employment Uses
 LPR26 Tourism
 LPR38 Accessibility to & within New Develop
 LPR39 Parking Provision
 LPR42 Cotswold Design Code
 LPR45 Landscaping in New Development

4. Observations of Consultees:

Gloucestershire County Council Highways: Further information required

Gloucestershire County Council Lead Local Flood Authority: No objection

Environmental Health: No objection

5. View of Town/Parish Council:

Response 24th January 2017;

'Chedworth Parish Council support the development in principle however their local knowledge of the road junction has raised a number of concerns therefore it OBJECTS on the grounds of highways and traffic in relation to the access into the car park. The specifics of the concerns are that there is a sharp turning into the road to Fosse Cross (especially when traveling from the Cirencester direction) and then the current entrance to the car park is a right hand turn very close to that junction. The junction is used frequently by lorries and cars with trailers going to the recycling centre and a stationary car turning right into the car park is likely to be at risk of a rear end shunt or causing traffic to back up onto the Fosse. It was especially noted that the nature of the proposed business around weddings is likely to result in a high number of cars arriving all at once to the new development. Solutions such as a more holistic view of improving the road infrastructure and signage and relocating the car park entrance further down Fosse Cross road could be considered.

The Parish Council also wished to make the following comments:

- There is a preference for the end elevation facing out to the car park and on the opposite side to the current no through road to Fosse Cross be of stone rather than timber so the structure is more in-keeping in the landscape.
- The car park should have only low level lighting to minimise the impact of this on the landscape and streetscape
- To comply with NPPF Para. 35 the car parking must contain a number of 32amp 7kW type 2 charging points for electric vehicles
- The proposed roof finish is unclear and clarity should be given as to whether this is flat or pitched and covered in a green roof, corrugated metal or solar PV panels as the current drawings and descriptions conflict.'

Response 15th February 2017;

'Further to our previous objection on highways grounds along with various design comments the parish council would like to also add an objection on design grounds. On further reflection parish councillors felt that the timber and corrugated metal roof of the letting rooms were out of keeping in the AONB.

Councillors would also request that you consider imposing a noise restriction on the development to prevent disturbance to neighbouring residents.'

Response 11th July 2017;

'The parish council OBJECTS to the application but wishes to stress that it is not opposed to some development to revitalise the public house and hotel.

Highways

The parish council was disappointed to see that no effort had been made to improve the access. The council feels that creating a new access onto the Calmsden Road so close to the A429 would add to the danger at an already hazardous junction. The junction is currently used by vehicles attending the Recycling Site including cars with trailers and vans, and large lorries attending both the Recycling Site and other businesses in the adjacent premises. The amount of traffic on this road is certain to increase following the granting of permission for the conversion of Gore Barn to a wedding venue and given that the Recycling Site is so busy at weekends, that weddings are most likely at weekends and that the Hare and Hounds is intended as a facility to benefit those using the wedding facilities it is easy to see that this junction will become increasingly busy and dangerous. Large lorries turning left off the main road from the Cirencester direction are only able to negotiate the junction by using the full width of the Calmsden Road causing problems for traffic waiting to join the A429 and there have been multiple shunts and near misses on the Fosseway with vehicles waiting to turn right onto the Calmsden Road being 'rear-ended'.

Parish councillors all have experiences of seeing accidents, or in one case being involved in an accident at that junction, and can only assume that many of the shunts and bumps are not reported and do not appear of traffic accident figures.

For all these reasons the councillors would urge planners to take advantage of their local knowledge and NOT allow the access to the new car park to be created at this point.

Design

While the new design is an improvement on the original there are still a number of points which councillors feel to be unacceptable.

The design of the dining pavilion should be improved. It is too large and should be smaller to fit better into the site, particularly now that the number of rooms it is serving has been reduced. It should be subservient to the main original building and not dominant. The roofing material is out of keeping with the location and the pizza oven chimney is industrial in appearance and not appropriate. The building housing the hotel rooms is too tall and should be reduced in height to make it less dominant.

Councillors would also request that you consider imposing a noise restriction on the development to prevent disturbance to neighbouring residents and would suggest a time restriction of midnight should also be imposed.'

6. Other Representations:

Letter signed by the residents of 8 dwellings objecting to the application - see attached correspondence.

One letter of support received;

i)'The buildings at the back of the Hare and Hound are of poor quality and what is proposed would unify the site. There is a dearth of hotel accommodation along the Fosse Way and I can see benefit for local employment, trades and nearby facilities such as the Seven Tuns and the

Chedworth Farm Shop and Village Hall. Previously the applicant had permission for a stone faced development with tiled roof. The proposed timber and tin structures do not harmonise with the Inn and should harmonise. Having the parking off the Calmsden road is safer than the unmarked turning across the Fosse Way but is very urban in appearance. It should be softened by planting small trees and having a stone wall on the Fosse Way side.'

CPRE South Cotswold District;

Response 6th February 2017;

'We do not object in principle to the addition of rooms and a dining pavilion to the Hare and Hounds pub. However we do object to the design of the new rooms and the proposed access to the car parking. We also believe that two conditions should be attached to any approval.

A principle of good design in the Cotswolds is that new building should fit with the surrounding buildings and reflect their style. Extensions to buildings should be in scale and character with the main existing building. In general new buildings should adopt a vernacular style both in design and materials if however a contemporary building style is proposed it should make strong references to and respect elements of the Cotswold vernacular. These principles are generally accepted as right and furthermore are set out in the draft Design Guide in appendix D of the draft CDC Local Plan 2011 -2031 and apply particularly strongly to the setting of a listed building such as the Hare and Hounds.

We recognise that the new bedroom buildings will be largely screened from the A429 by the pub and to some extent by the new dining hall. However they will make a prominent visible impact on visitors to the pub and anyone walking/ driving down the lane to the north of the pub. They will look totally out of place and fail to meet any of the principles set out above. The green front to the new buildings will only have a limited effect in disguising their rectangular box like design; the Precedent Image number 6 in section 7.0 of the Design and Access statement demonstrates how vestigial the coverage will be. In our view the setting of the listed building will be significantly adversely affected and the application should be changed radically to a design more reflective of the style of, and bringing the new buildings better into scale with, the existing buildings. We recognise that this will mean Cotswold tiled sloping roofs with a ridge line lower than that of the pub and therefore possibly a smaller number of rooms; this may be necessary for this sensitive site though we would not object to a modest extension of the right sort of designed building into the western edge of the paddock in place of some of the car parking. We note that the previous approved application was for a total of 30 rooms.

The transport assessment is in our view misleading. It does not fully recognise that Calmsden lane is the main access to the council waste site. This facility is very popular and used constantly but particularly at weekends. The traffic counts were done at times which users of the facility avoid and this leads to a disparity between the traffic count results and the turning counts. Similarly the trip generation estimate from the pub is based on a normal bed and breakfast hotel. In the case of the Hare and Hounds one of the objectives is to link it to the successful Cripps Barn wedding venue. This means that a lot of the guests will be leaving the Hare and Hounds at roughly the same time to get to the wedding. Cripps Barn is very well patronised being fully booked well in advance both for week days and weekends. There is the potential therefore for significant conflict between the hotel traffic and traffic to and from the waste site and traffic on the A429 as the hotel traffic turns left out of Calmsden Lane and then right into Fosse Lane to go to Cripps Barn thus crossing the traffic on the A429. This will lead to queues at the Calmsden Lane junction and then on the A429 waiting to turn right onto Fosse Lane. These are exactly the circumstances which lead to the two previous accidents at this cross roads. We suggest it would be much safer if the traffic from the Hare and Hounds exited from the existing drive way and a way to re-route the traffic on site were found to make this possible.

We do not object to the paddock being used as a car park as it will be grasscrete. However, at present the planting along the boundary with the A429 is very sparse. This needs to be strengthened with new planting to totally screen the car park from view from the A429. Also no

mention is made in the application to lighting. This will be needed in the car park and elsewhere on the site; it should be specified as low level down-lighting to avoid light pollution. Both these matters can be covered by conditions to any approval of the proposals.

We totally agree that the management of Cripps Barn has demonstrated a high standard of operation and competence with facilities and with the right design the Hare and Hounds will be an asset to the area both as a place to stay and as a provider of employment.

We assume this planning application will fall under saved Policy 26 of the Local Plan 2001 to 2011 which covers extensions of existing hotels. Were it to fall under Policy 40, which covers new roadside facilities, then the applicant would need to demonstrate exceptional circumstances and that the need cannot be met elsewhere locally. We do not think the applicant has demonstrated either of these things. The proposal would not be allowed under the provision of the draft Local Plan 2011-2031 Policy EC11 as the site lies outside a development boundary. Provided the application does fall under Policy 26 then, in summary, this application should be refused as submitted and the applicant asked to submit a revised application with a building design in line with the principles of the draft Design Code and a revised access to the car park.'

Response of the 11th July 2017

'We object to the revised plans for the expansion of the Hare and Hounds pub. The grounds for our objection are the inappropriate design of the new buildings in the curtilage of a listed building and the dangerous access to the car parking from the A429. We would ask that you read this objection in conjunction with our previous objection dated 6th February as the points made then still stand.

A principle of good design in the Cotswolds is that new building should fit with the surrounding buildings and reflect their style. Extensions to buildings should be in scale and character with the main existing building. In general new buildings should adopt a vernacular style both in design and materials. If however a contemporary building style is proposed it should make strong references to and respect elements of the Cotswold vernacular. These principles are generally accepted as right and furthermore are set out in the draft Design Guide in appendix D of the draft CDC Local Plan 2011 -2031 and apply particularly strongly to the setting of a listed building such as the Hare and Hounds.

While the design of the building on the northern boundary of the site abutting the private road off the A429 has been revised to a Cotswold style of pitched roofs with stone slate, the introduction of square dormers is inappropriate. The changes to the design of the remaining bedroom blocks is an improvement in the choice of wall materials but represent a minor change. They are still very rectilinear in style with shallow pitches to the roofs. They will therefore be dominant in the rather cramped courtyard garden and jar with the style of the listed building. They should be of a more Cotswold style reflecting that of the pub, the previous extensions and the new proposals for the northern building. We also object strongly to the use of corrugated tin for the roof material of both the bedroom and dining hall buildings.

The issue is the setting of a listed building and whether the new buildings can be seen or not from the Fosseyway is of secondary importance. Where this is important is views into the paddock to the south which is to be a car park. This will be prominently visible by traffic approaching from the south. Screening should be strengthened.

In terms of traffic to the site, the introduction of the dining pavilion in addition to the already significant provision within the pub only makes sense if it is intended for events such as weddings or private parties. Such a use will generate its own traffic and increase concerns about the safety of the position of the access to the site.

There is the potential for significant conflict between the hotel and event traffic and traffic to and from the waste site and traffic on the A429. These are exactly the circumstances which lead to the two previous accidents at this cross roads. We suggest it would be much safer if the traffic

from the Hare and Hounds exited from the existing drive way and a way to re-route the traffic on site were found to make this possible.

Finally the design and access statement implies that the development is necessary to ensure the financial viability of the pub. No evidence is produced to show that the pub is not currently viable - it certainly is well used by passing traffic and locals coming for an occasional meal. Furthermore, there is no demonstration that a development of the scale proposed would be necessary to ensure viability. There are many pubs in the area which are viable with no bedrooms or just the sort of number of rooms the pub currently has. A prime example is the Fossebridge Inn further north on the A429 which has about 10 rooms and is going strong. Thus while we have no objection to an increase in the number of bedrooms at the Hare and Hounds, we do not think any case has been made or could be made for the scale of the development proposed. The scale and design of the development should be subservient to the protection of the setting of the listed building. This can be achieved with smaller development with a design more in keeping with the listed building. What is currently proposed is overdevelopment.

We urge the council to refuse this application.'

Cotswolds AONB Board;

Response 6th March 2017

'The Board notes the planning history of this site, including the permission granted in January 2001 for 32 bedrooms which were not constructed.

The site lies within the Cotswolds AONB. Paragraph 115 of The National Planning Policy Framework confirms that "great weight" should be given to conserving and enhancing scenic beauty in AONBs which "have the highest status of protection in relation to landscape and scenic beauty". The site falls within the High Wold Dip Slope landscape character type, as described in the Cotswolds AONB Landscape Strategy and Guidelines. It occupies a prominent, isolated position in open countryside, adjacent to the Fosse Way. The Hare and Hounds pub is a Grade II listed building, set amongst a small cluster of ancillary buildings, some of which are of a more recent construction. Whilst in principle the Board is not opposed to further development of this site it has the following concerns regarding the current application,

1.The proposed design and materials. Unlike the previous permission granted in 2001, the proposed design and materials do not reflect the local Cotswold vernacular. The modern, industrial design does not support Policy DTP1 of the Cotswolds AONB Management Plan 2013-18 which states that development should:

- i. Be compatible with the distinctive character of the location as described by the relevant landscape character assessment, strategy and guidelines.
- ii. Incorporate designs and landscaping consistent with the above, respecting the local settlement pattern and building style.
- iii. Be designed to respect local building styles and materials.

Whilst the new accommodation block is to the rear of the site and will in part be screened by existing buildings, the Board does not consider the design to be appropriate either to its setting in the wider landscape or to the adjacent listed building. The Landscape Strategy and Guidelines for the High Wold Dip Slope advises that the

- proliferation of suburban building styles and material be controlled,
- that new development does not adversely affect settlement character and form and
- the use of local stone and building styles be used in the construction on new buildings and extensions to existing dwellings (new buildings should, at least, respect local vernacular styles).

It is the Board's view that the current design and materials do little to conserve or enhance the AONB.

2. Screening. The Design and Access Statement at Paragraph 5.1 vii. refers to the existing natural screening at the rear of the site as affording a sense of enclosure, despite its isolated and exposed position. Furthermore, it highlights that the proposed building blends into this screening. It would appear from the submitted documents however that the applicant does not own the land which provides this screening. Should it become necessary/desirable by the landowner to remove the existing screening at some point then it would leave the inappropriately designed accommodation building far more exposed in the wider landscape. As the proposed building is adjacent to the site boundary there would appear to be little opportunity to provide new screening.

3. Car park. The proposed car park area is currently a grassed paddock to the south-west of the pub and associated buildings. With minimal existing screening, it affords open views to the pub when travelling along the Fosse Way in a north-easterly direction. This openness is characteristic of the High Wold Dip Slope type. Any change of use to a car park will have an impact on rural, open character of the buildings and surrounding area. Greater consideration should be paid to reduce any impact should the council be minded to grant permission. Some of the effects could potentially be minimised by ensuring the car parking is kept away from the roadside of the paddock, along with sensitive, appropriate landscaping. Lighting of the car park is also a cause for concern. The Landscape and Strategy Guidelines highlights the introduction/accumulation of lit areas and erosion of characteristically dark skies as having landscape implications. It goes on to advise that measures should be adopted to minimise/reduce light pollution. The Board has an aspiration for Dark Skies status and has produced a Position Statement entitled Tranquillity and Dark Skies which should be read in conjunction with this response. Should the Council be minded to approve the application the Board advises that lighting be controlled by condition and that low level/intensity bollard style lights are used in order to minimise light pollution.

4. Additional accommodation. The Planning Statement (para 1.5) refers to a future Phase 2, comprising an additional 54 bedroom proposal. As stated above the Board has no objection in principle to development of this site. However, any further development of this site above that which is proposed in this application would constitute over-development of the site, further eroding the not only the listed buildings, but also the wider landscape setting.

Response 5th August 2017;

'The Cotswolds Conservation Board wishes to maintain its objection to this revised proposal. The following comments should be read in conjunction with our comments of 6th March 2017.

The Board recognises that the applicants have sought to address some of the concerns raised by the previous plans such as reducing the overall number of units and alterations to the car park layout. However, few alterations have been made to design or materials, which as stated in our previous correspondence, do little to conserve or enhance the AONB. Specifically;

- the design remains one of an industrialised nature which does not reflect that of the adjacent listed building
- the large square dormer windows facing into the courtyard do not respect local building styles
- the use of vegetation to screen the building appears incongruous. As it is situated within an AONB and adjacent to a listed building, the design should be of a standard that such extensive screening should not be necessary in order to lessen the impact of development in both the immediate and wider landscape.
- it would be preferable if the northern elevations were set back more from the boundary wall in order to preserve the existing openness and views to the surrounding countryside.

With respect to the car park, as stated earlier the Board acknowledges the changes to the layout. These have the potential to address some of our concerns; however the fact remains that what is currently an open paddock which contributes to the character of the part of the AONB, will be developed. Should permission be granted the Board recommends that appropriate landscaping is undertaken and maintained to ensure the car park is screened from the Fosse Way. There should also be a condition that the grassed area of the car park immediately adjacent to the Fosse Way remains as such and that parking is not permissible under any circumstances in this

area. In addition, as stated in our earlier objection lighting of the car park is of particular concern. Should permission be granted lighting should be kept to a minimum and controlled by conditions.

The Board is not opposed to development of this site, however it is our position that the plans currently under consideration do not conserve or enhance the AONB, as required by Section 85 of the CRoW Act 2000 and should therefore be refused.'

Response from County Cllr Paul Hodgkinson;

Response on the 2nd August 2017;

'I am making these comments as County Councillor for the Chedworth parish.

The access to the car park on the application is very close to the A429 junction - 25 metres. My concern here is that this will make an already busy and complicated junction more dangerous with vehicles turning in and out of the car park right next to the A429 and onto the Calmsden road which carries heavy goods vehicles going to the tip.

The delivery access to the proposed site is small. Will larger lorries be able to turn around within the small delivery area? If not, they will have to reverse out into the apron right next to the busy A429 (or will have to reverse into the delivery access).

The junctions around the Hare and Hounds are complicated already - you have a number of exits and entrances plus signage. The A429 is well known for the speeds which vehicles can travel at and has been the subject of the A429 Task Group which I was part of last year. The applicant has described the A429 as 'the busiest north-south route within the Cotswold District where vehicles, including many HGVs, pass the site day and night and where the speed limit is 50mph.' This is all correct and road safety concerns regularly occur on this road.

So it is clearly worrying to have two turnings into the proposed site and the impact of higher vehicle numbers using the whole junction area. Where will additional signage go as it could interfere with visibility?

There is an adverse impact on road safety at this location due to the extra traffic generated by the proposed site and the extra turnings onto the roads.'

7. Applicant's Supporting Information:

Flood Risk Assessment
 Ecological Assessment
 Planning Statement
 Waste Minimisation Statement
 Sustainability Statement
 Tree Survey
 Transport Statement
 Conservation Statement
 Design and Access Statement
 Mechanical and Electrical Concept Report

8. Officer's Assessment:

Background and Proposed Development

The application site is occupied by a public house and associated outbuildings. The principal building provides dining and drinking facilities and falls within the A4 (drinking establishments) Use Class. To the south west of the public house is a part two storey/part single storey accommodation building which provides 10 bedrooms for guests. Planning permission and LBC were granted for the erection of the aforementioned building in 2004.

Planning permission was also granted in 1995 for the erection of a two storey 32 bed motel building (CD.6503/E) on the paddock area to the south of the public house. The approved building had a roughly L-shaped footprint. The longest wing of the building measured approximately 35.5m long by 8.5m high. The external walls of the approved building were to be finished in a roughcast render. The permission was never implemented with the result that the permission has now lapsed.

The applicant is seeking permission to erect new two storey accommodation buildings in the existing car park to the west/north west of the public house. It is also proposed to erect a new dining pavilion building to the rear (north) of the public house. A new greenhouse is also proposed along the north western side elevation of the principal building. New plant and machinery will be installed in an existing single storey outbuilding lying to the front of the public house.

The applicant initially sought to provide 33 new guest bedrooms on the site. However, following discussions with Officers the number of rooms has been reduced to 28. The proposed accommodation will be located around the western, northern and southern boundaries of the existing car park. The principal accommodation building will extend along the site's western boundary. The western elevation will measure approximately 45m long by 7m deep by 6.5m high. The northern end of the western accommodation building will also extend eastwards alongside the northern boundary of the site. The northern roadside elevation will measure approximately 21m long by 7m deep by approximately 6.2m high. The western and northern ranges will house 24 bedrooms.

In the southern part of the existing car park it is proposed to erect a further two storey building which will house 4 bedrooms. The proposed building will measure approximately 10m wide by 7m deep by 6.5m high.

The three accommodation blocks will face onto a new central courtyard area. Each bedroom will open onto the courtyard. The first floor bedrooms in the southern and western accommodation blocks will be provided with timber framed balconies which will overlook the courtyard. The first floor accommodation in the aforementioned buildings will be accessed by external timber walkways which will run along the rear of the western and southern buildings.

The external walls of the southern and western accommodation blocks will be finished in a mix of natural stone and timber cladding. Natural stone will primarily be used at ground floor level with upper floors clad in timber. The roofs of the buildings will be covered in a corrugated metal. A mesh will be added to the front of the accommodation blocks which will be planted with a variety of flora. The applicant is seeking to create a wall of greenery around the courtyard.

The northern roadside accommodation building will be more traditional in form and will have external walls constructed of natural stone and a stone tiled roof. Two flat roof dormer windows will lie on the southern roofslope facing onto the proposed courtyard.

To the rear of the existing public house it is proposed to erect a new dining pavilion building. The proposed building will measure approximately 16.7m long by 10.7m wide by 5.9m high. The main ridgeline of the proposed building will run in a north south direction with its gable end facing onto the lane to the north of the site. The external walls of the proposed building will be a mix of natural stone and glazing. The roof will be covered with a corrugated metal.

A timber framed greenhouse measuring approximately 6m by 4m by 3.2m high is proposed in the new courtyard adjacent to the north western gable end of the public house.

In addition to the above new buildings, the applicant is also seeking to create a new car park in the paddock area to the south of the public house. A total of 56 car parking spaces will be provided in the new car park. The existing premises provides approximately 25 spaces. The car park will be surfaced in gravel. Vehicular access will be via new entrance located in the southern

boundary of the site. It will open onto the lane that links the A429 to the village of Calmsden approximately 2.3km to the south west.

The existing access to the rear of the public house will be retained primarily for service/delivery vehicles.

The applicant states that the proposed development will generate 18 full time and 18 part time employees.

The applicant presently operates three wedding venues with the vicinity of the application site. The three venues are Cripps Barn which is located on Fosse Cross Lane approximately 2.7km by road to the south east of the application site; Gore Barn which is located on the Calmsden lane approximately 1.3km to the south west of the proposed development and Stone Barn, Aldsworth which is located approximately 14km to the east of the site. The accommodation proposed as part of this application is intended to serve both the Hare and Hounds public house and the three aforementioned venues. Wedding guests will be able to stay at the Hare and Hounds site prior to attending weddings held at Cripps Barn, Gore Barn or Stone Barn. The accommodation will also be open to visitors to the area who are not attending any of the wedding venues.

The proposed dining pavilion is intended to serve guests staying at the Hare and Hounds site as well as providing additional dining space for non-residents wishing to dine at the public house (eg for Sunday lunch). The kitchen facilities at the Hare and Hounds are not intended to be used to provide catering facilities for the wedding venue locations. The wedding venues are self-sufficient in terms of the catering provided at those locations.

(a) Economic Development in a Rural Area

The application site is located outside a Development Boundary as designated in the Cotswold District Local Plan 2001-2011. Development in such locations is therefore subject to Policy 19: Development Outside Development Boundaries of the aforementioned plan. Policy 19 can be supportive of 'development appropriate to a rural area' outside Development Boundaries subject to a number of criteria. These are that the development should not;

- a) Result in new build open market housing other than that which would help to meet the social and economic needs of those living in rural area;
- b) Cause significant harm to existing patterns of development;
- c) Lead to a material increase in car-borne commuting;
- d) Adversely affect the vitality and viability of settlements; and
- e) Result in development that significantly compromises the principles of sustainable development.

The Notes for Guidance accompanying Policy 19 states that 'development appropriate to a rural area' includes 'many types of development covered by other policies in the Plan.' With regard to proposals for hotel/serviced accommodation, Local Plan Policy 26: Tourism is considered to be pertinent to this application.

With regard to hotel or serviced accommodation, Policy 26 states;

1. New hotels and other serviced accommodation will not be permitted outside those areas where Policy 18 applies except;

- a) Within the Cotswold Water Park in accordance with criteria set out in Policy UT 1;
- b) Where provided as part of a roadside facility which is considered to be in accordance with Policy 40; or
- c) Where the proposal is provided by the change of use of existing buildings, especially where this would involve the renovation of a listed or other historic building.

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2. The extension of an existing hotel will be acceptable provided it is in keeping with the scale of the existing building, and provided adequate space is available to meet any increased vehicle parking requirements.

Paragraph 3.5.18 of the supporting text to Policy 26 states that 'new-build hotel development outside settlements would be contrary to Policy 19, except where a roadside facility is proposed in accordance with Policy 40.'

In the case of the existing site, it is of note that the Hare and Hounds currently offers 10 en suite bedrooms for guests. The aforementioned accommodation was created through the erection of a new purpose built accommodation block rather than through the conversion of an existing building. New build serviced/hotel type accommodation has therefore previously been approved on the site. It is considered that the level of accommodation can reasonably be considered to represent more than an ancillary use of the site as a whole. The current proposal will be increasing the amount of serviced accommodation available on site rather than introducing a completely new use onto the land. The proposal will therefore result in the extension of an existing facility.

Notwithstanding the above, if Members consider that the scale of development does constitute the creation of a new hotel on the site then section 1 of Policy 26 will be applicable. In such circumstances, the proposal will not meet the requirements of criteria 1 a) or 1 c). With regard to criterion 1 b), Local Plan Policy 40: Roadside Facilities Outside Settlements states;

1. New roadside facilities outside settlements will not be permitted unless exceptional circumstances demonstrate that there is a significant need for them which cannot reasonably be met elsewhere, having regard to the availability of other facilities along the route or in nearby settlements and provided that the following criteria are met;

- a) They are located on Primary Routes, as defined in the Gloucestershire Structure Plan, or which are later designated; and
- b) The siting of the facilities and means of access to and from them will not create an unacceptable road safety hazard.

The A429 would represent a Primary Route.

The Notes for Guidance accompanying Policy 40 states that roadside facilities 'include picnic areas, toilets, petrol filling stations, eating places and budget hotel accommodation for motorists of the Travelodge or Travel Inn type. Public houses are well provided for within the Cotswolds and will not normally be considered within this category of development. Hotels, other than budget type hotels for motorists are dealt with under Policy 26 'Tourism'. Provision of a completely new type of facility next to an existing one, eg an eating place next to a garage, will be considered as a new facility and not an 'extension' to an existing one. The provision of a large, new accommodation block at a pub, which only has a few bedrooms, may amount to a new facility. Much would depend on the scale and nature of the proposal. Modest extensions of existing buildings for the same use will be considered against Policy 19 Development Outside Settlements.'

In relation to Policy 40, it is evident that the current proposal would not represent budget type hotel accommodation and as such would not fall under the umbrella of the respective policy. In light of this, if the proposed development is considered to represent a new hotel then it would be contrary to Local Plan Policy 26.

With regard to the emerging Local Plan, Policy EC11 Tourist Accommodation is of relevance. It states;

1. New hotels and other serviced accommodation will be permitted where the proposal:
 - a. is provided through the change of use of existing buildings, especially where this would involve the conversion of a listed or other historic building; or
 - b. is appropriately located within Development Boundaries
2. Exceptionally, proposals for a new hotel that is directly associated on-site with a tourist attraction, and required to sustain the viability of the tourist attraction, will be acceptable.

The above policy primarily relates to new hotel developments rather than extensions to existing facilities. Notwithstanding this, the policy has not yet been test at examination and as such is considered very limited weight at the present time. It is also of note that Paragraph 9.4.2.1 of the new Local Plan states that 'hotels and other serviced accommodation will normally be acceptable within settlements as well as extensions to existing facilities'. The text accompanying the above policy therefore offers support for extensions to existing serviced accommodation facilities.

In response to the concerns of objectors, neither Local Plan Policy 26 nor emerging Policy EC11 require the applicant to provide evidence to support increased hotel accommodation or to demonstrate that more suitable locations have been explored. The reference to Paragraph 24 of the NPPF is noted. However, the aforementioned paragraph relates to the circumstances when it is necessary to apply a sequential test to new development proposals. It does not require an applicant to demonstrate 'the need for accommodation of this type and scale.' The primary aim of Paragraph 24 is to protect of the vitality of town centres by focusing main town centres uses on such locations. In this particular case, the nearest town centre to the application site is at Northleach which is approximately 7km to the north of the propose development. The town centre area, as designated in the Local Plan, is relatively modest in size and essentially extends around a number of buildings facing onto the Market Place and The Green. Paragraph 24 of the NPPF requires Local Planning Authorities to apply a sequential test for main town centre uses that are not in an existing centre and that are not in accordance with an up-to-date Local Plan. Hotels can fall within the definition of a main town centre use. Paragraph 24 states that such uses should be located in town centres, then in edge of centre locations and only if suitable sites are not available should out of centre sites be considered.

With regard to Northleach town centre, the Cotswold Retail Study Update December 2016, which was produced in connection with the emerging Local Plan, states that the town centre is 'an attractive centre although it is unlikely to change or grow in the retail hierarchy to any significant extent due to the size of the settlement and the relatively low levels of retailer demand for space in the centre. As such , the focus for the District Council will be to seek to retain the existing range of uses in order that the basic day to day needs of the local population can continue to be met'. The Study Update has not therefore identified any particular shortfalls or issues pertaining to the existing centre.

With regard to the sequential test, it is evident that the small size of Northleach commercial centre and the nature of the buildings within it means that it cannot reasonably accommodate development of the type proposed even if flexibility is given to issues of format and scale. The density and residential nature of development around the edge of the commercial centre also means that there are no suitable and available locations within the vicinity of the designated town centre. On this basis, it is considered that there are no suitable sites available within or adjacent to the town centre. An out of centre site can therefore be acceptable. Paragraph 24 of the NPPF states that preference should be given to accessible sites that are well connected to the town centre. In this regard, the application site is located on a main A road which links directly with Northleach. There are also two bus stops on the A429 directly outside the application site. There are 5 bus services a day linking the site to Cirencester, Northleach, Bourton-on-the-Water, Stow-on-the-Wold and Moreton-in-Marsh. In the context of a rural area it is considered that the site is reasonably accessible to Northleach town centre. The next nearest designated town centre to the application site is in Cirencester, approximately 11km to the south. The site is considered to be sufficiently distant from Cirencester so as not to require a sequential test analysis of the aforementioned settlement. The site falls outside the Cirencester catchment/study area used in

the economic studies undertaken in connection with the preparation of the emerging Local Plan. It is considered that the proposal does not fail the sequential test.

Notwithstanding the above, the proposed development will be positioned adjacent to an existing public house/hotel development. The site is also located within close proximity of a number of wedding venues operated by the applicant. The site is therefore in a location which is well connected to the applicant's existing operations. In this respect, the proposed location will be located in a more sustainable location in terms of accessibility than a site in Northleach for example. The proposed development will also help to secure the long term viability of the existing public house on the site. The proposed accommodation will also represent an enlargement of an existing facility which already provides 10 guest bedrooms on the site. The proposal will not therefore be introducing new serviced accommodation onto a site where none currently exists.

In addition to the above, the Council must also have regard to guidance in the National Planning Policy Framework (NPPF) when considering the application. Paragraph 2 of the NPPF states that the Framework 'is a material consideration in planning decisions.' In addition, Paragraph 215 of the NPPF states that 'due weight should be given to the relevant policies in existing plans according to their degree of consistency with this Framework (the closer the policies in the plan to the policies in the Framework, the greater the weight that may be given'. The weight to be given to Local Plan Policy 26 will therefore ultimately be dependent on its degree of consistency with the NPPF.

Paragraph 28 of the NPPF states that planning policies 'should support economic growth in rural areas in order to create jobs and prosperity by taking a positive approach to sustainable new development. To promote a strong rural economy, local and neighbourhood plans should support the sustainable growth and expansion of all types of businesses and enterprise in rural areas, both through conversion of existing buildings and well-designed new buildings.' The NPPF can therefore offer support for sustainable new economic developments in rural areas. This can include new build developments as well as conversions.

The NPPF states that 'there are three dimensions to sustainable development: economic, social and environmental. These dimensions give rise to the need for the planning system to perform a number of roles'. These are an economic role whereby it supports growth and innovation and contributes to a strong, responsive and competitive economy. The second role is a social one where it supports 'strong, vibrant and healthy communities, by providing the supply of housing required to meet the needs of present and future generations'. The third role is an environmental one where it contributes to protecting and enhancing the natural, built and historic environment.

Paragraph 8 of the NPPF states that the three 'roles should not be undertaken in isolation, because they are mutually dependent'. It goes on to state that the 'planning system should play an active role in guiding development to sustainable solutions.'

It is evident that the NPPF offers strong support for development that encourages economic growth, jobs and the rural economy. It also supports the erection of new buildings in rural locations if they benefit the local economy. The NPPF is therefore more flexible in its approach to new build development that supports the rural economy than Local Plan Policy 26. In light of this it is considered that the aforementioned policy is not fully consistent with the aspirations of the NPPF and as such can only be given limited weight. It is considered that the guidance in Paragraph 28 is a significant material consideration in relation to this proposal and outweighs the guidance set out in Policy 26 of the current Local Plan.

In economic terms the current proposal will potentially generate 18 full time and 18 part time jobs. It will also assist the long term viability of the existing public house and provide an additional revenue stream which will assist the three wedding venues operated by the applicant in the local area. Guests staying in the accommodation will also potentially spend money on other services and facilities in the area. The economic benefits of the proposal are considered to be significant and to weigh in favour of the proposal. Against this benefit it is necessary to balance the potential social and environments impacts of the proposal such as its impact on the character and

appearance of the AONB or its impact on the setting of a Listed Building. These impacts will be considered in the following sections.

(b) Design and Impact on Setting and Special Interest of a Listed Building

The Hare and Hounds is a Grade II Listed Building. The Listing description is;

CHEDWORTH A429 SP 00 NE (west side) 7/40 Hare and Hounds II Inn. Mid C18 and C19. Coursed squared and dressed limestone; stone slate roof; stumps of ashlar stacks repaired in brick. Rectangular plan to C18 range; later extension at right angles obscuring the central bay of the south front; further extensions to both gable ends; long lean-to extension to rear; stable block at right angles at the south-west corner of the main body. Main body two-storeys. Formerly 3-windowed facade to the C18 range (now partly obscured); 2-windowed C19 extension to the right; single-bay extension to the left. Two and 3-light double-chamfered stone-mullioned casements to the C18 range, one with a stopped hood, one with the remains of a hood. One 2 and one 3-light casement to the first floor of the right-hand extension. C20 plank door with fillets to a gabled C20 porch. Two sash-windows to the gable end facing the main road. Plank door and pitching door to extension to the left gable end. Gable-end stacks to the C18 range. Some slates off roof of stable block at time of resurvey (September 1986). Interior not inspected.

Section 66(1) of the Planning (Listed Building and Conservation Areas) Act 1990 states that when considering whether to grant planning permission for development which affects a listed building or its setting, the Local Planning Authority shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Considerable weight and importance must be given to the aforementioned legislation.

Paragraph 131 of the NPPF states 'in determining planning applications, local planning authorities should take account of; the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;' and 'the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and the desirability of new development making a positive contribution to local character and distinctiveness.'

Paragraph 132 states that 'when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting.'

Paragraph 134 states that 'where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.'

Paragraph 009 of the Planning Practice Guidance (PPG) states that 'heritage assets may be affected by direct physical change or by change in their setting.'

Paragraph 013 of the PPG states 'Setting is the surroundings in which an asset is experienced, and may therefore be more extensive than its curtilage. All heritage assets have a setting, irrespective of the form in which they survive and whether they are designated or not.'

Local Plan Policy 42 advises that 'Development should be environmentally sustainable and designed in a manner that respects the character, appearance and local distinctiveness of Cotswold District with regard to style, setting, harmony, street scene, proportion, simplicity, materials and craftsmanship'

The principal listed building dates from the mid-18th Century and sits side onto the A429. Its front elevation faces to the south. The building is two storey in height (approx. 7.5m) and has a catslide

roof to its rear. Detached stone outbuildings lie to its front and rear. The front building is single storey in height and has stone walls and a green corrugated metal roof. It is used for storage. The rear outbuilding has external stone walls and a stone tiled roof. It is used as ancillary accommodation. The aforementioned buildings are historic and are considered to be curtilage listed. In addition to the historic buildings an L-shaped extension lies to the west/south west of the principal building. The extension was granted permission in 2004 and has natural stone walls and an artificial stone roof.

The existing buildings reflect vernacular Cotswold building forms. The Conservation Officer states that 'The significance of the listed building lies in its age and vernacular form and appearance (despite recent extensions), its isolated nature as a coaching inn within the rural street-scene and the historic associations with its location and purpose as a staging post along the Fosse. The site itself is sensitive in that it represents a prominent location at a historic junction on the Fosse. The Fosse is the ancient Roman route running up through the Cotswolds and as a way of experiencing the distinctiveness of the Cotswolds it is considered 'important to preserve the prevailing character of the road. The character of the road is generally rural in nature giving way to sudden but subtle approaches to the historic settlements it passes through along the way. The Hare and Hounds is characterised as an isolated historic building with outbuildings within an isolated rural setting. The only major modern visual influence is the extension to the South-West'.

The proposed buildings will be located on an existing car parking area to the rear of the listed building. The height of the proposed two storey accommodation buildings will be approximately 1m lower than the principal building and approximately the same height as the bedroom extension allowed in 2004. The proposed buildings will extend around the periphery of the car park to create a courtyard style of development. The layout, arrangement and linear form of the proposed buildings are reflective of a traditional group of rural outbuildings. Ranges of outbuilding set around a yard are often seen in both agricultural and commercial developments across the District.

In terms of design the applicant has sought to reduce the mass and scale of the proposed accommodation buildings by introducing timber cladding at first floor level as well as timber framework/balconies and metal roofs. A metal roof is also proposed for the new dining pavilion which will lie adjacent to the northern boundary of the site. Metal roofing is currently evident in the curtilage listed building located to the front (south) of the Hare and Hounds public house. The aforementioned outbuilding presently has a corrugated metal roof. The use of metal does not therefore appear as an alien or incongruous material within the site. The use of timber will also lighten the appearance of the proposed buildings thereby helping to give them a more subsidiary character and appearance. Timber and metal are materials commonly seen in both rural outbuildings and in functional rural commercial and agricultural buildings. In combination with the use of natural stone, it is considered that the selected materials will give interest to the scheme and help to reduce its overall mass and scale. The size, scale and proportions of the proposed buildings are considered to reflect those of the existing buildings on the site.

The applicant is also seeking to introduce planting across the frontages of the proposed accommodation building. It is intended to provide the buildings with a green façade which will link into planting within the courtyard area. Once established the new planting would soften the appearance of the proposed buildings. The applicant has provided a planting scheme for the exterior of the proposed buildings. Officers consider that this could create an attractive addition to the site which could represent an enhancement when compared to the existing car park. Notwithstanding this, Officers are also aware that the introduction of the planting will require long term management if it is to be successful. Officers also acknowledge that without proper maintenance the proposed planting may not appear as successful as shown in the applicant's illustrations. As a consequence, Officers have assessed the proposal on how it could appear without the landscaping in addition to how it would appear with the new planting in place. In this regard, the principal elevations of the new accommodation blocks will primarily face onto the proposed courtyard area. The proposed development will principally look inwards into the site rather than out towards the surrounding landscape. The windows/timber walkway in the western elevation will also face directly into a line of Leylandii trees rather than out across open

countryside. In visual terms, the more contemporary elements of the proposal will therefore be relatively well contained within the site. The more prominent northern roadside elevation will have a more traditional form and appearance which will ensure that the development will respect the character of existing development in the locality. On balance, it is considered that the relatively functional design approach proposed by the applicant is well considered and has been designed in a manner that responds sympathetically to the character and appearance of the site and the listed building.

When viewed from the roads to the east and south of the site, the proposed building will largely be screened by existing development. The proposed buildings will not interrupt or obstruct views of the listed buildings from the aforementioned locations. The principal public view of the listed building from the A429 to the east will remain largely unaffected. The historic roadside setting of the Hare and Hounds will therefore be retained. It is noted that the proposed scheme will introduce a new car parking area into the paddock to the south of the public house. The paddock area is reasonably well screened by existing boundary vegetation. The applicant is also proposing to leave a landscape buffer zone along the eastern edge of the site and introduce new landscaping planting along the eastern and southern boundaries thereby reducing the visual impact of the parking area on the setting of the listed building. The proposed parking area is also considered to have far less of an impact on the setting of the listed building than the motel building approved in 1995 (see attached). The aforementioned motel development was considered not to have an adverse impact on the setting of the heritage asset.

The main impact on the setting of the designated heritage asset will therefore primarily be from the lane to the north. At present, views are available from the lane of the car park and rear of the public house. Whilst the views are partly screened by existing vegetation, there is still a degree of visual connectivity between the rear of the public house and the lane. The proposed scheme will introduce single and two storey development alongside the lane. The proposed development will therefore cut off views across the car park to the rear of the listed building. Following discussions with Officers, the applicant has amended the design of the extension lying alongside the northern lane. A two storey accommodation building with a mono-pitched roof has been replaced with a more traditionally proportioned natural stone range with lower eaves. The roof of the proposed dining pavilion has also been reduced and broken up. The roof now has a broken pitch similar to the roof to the rear of the Hare and Hounds rather than the shallower pitch and wider gable originally proposed. It is considered that the size, scale and proportions of the proposed northern elevation are commensurate with other buildings on the site and are reflective of traditional outbuildings. It is also not uncommon to see the flank walls of outbuildings running alongside rural lanes. In this respect, it is considered that the proposed development would not appear as an incongruous or inappropriate form of development.

With regard to the setting of the listed building from the north, the introduction of the roadside development will screen views of the principal building. However, these views currently extend across a car park and place the building in context with modern extensions and alterations. The setting of the listed building from the lane to the north has therefore been somewhat compromised. Moreover, the proposed scheme will retain a gap of approximately 15m between the eastern end of the proposed development and the existing outbuilding located adjacent to the north east boundary of the site. A view through to the rear of the public house will therefore be retained. Whilst the proposal will obstruct some views of the principal listed building from the lane to the north it is considered that the impact on the overall setting of the heritage asset will be limited.

The Conservation Officer states;

'The scale and mass of development within the car park area exceeds the core mass of the listed public house. This will have a limited negative impact upon the setting of the building and constitutes less than substantial harm. The listed building has a non-domestic character therefore a degree of expansion can be accommodated without detriment to the setting or significance of the building. The harm in this case is restricted to the experience of the setting from within the current car park area. It is not considered that the harm to the setting would extend to views of the

listed building from the Fosse or the lane to the east. This is because the proposed dining pavilion and the buildings flanking the lane are of a scale, form, design and materials that are sympathetic to the character of the listed building and would create a visual screen to the full extent of the development. As such it is anticipated that the minimal harm resulting from this aspect of the proposal would likely (in the final analysis) be outweighed by public benefits arising from the proposal including encouraging future viability of the listed building and would likely meet the test set out in paragraph 134 of the NPPF.'

The Conservation Officer's assessment that the proposal will have 'minimal harm' on the listed building means that the proposal must be considered against the guidance in paragraph 134 of the NPPF. Minimal harm would constitute less than substantial harm for the purposes of the aforementioned paragraph. In such circumstances the Council must weigh the harm caused against the public benefits of the proposal, which can include securing the optimum viable use of the heritage asset. In this particular instance, the Hare and Hounds is a historic public house. Its use as a public house is a significant part of its historic significance. The current proposal will assist the long term viability of the heritage asset and allow the building retain its historic use. The proposed development will also provide additional income for the premises and provide additional employment. The additional revenue generated by the proposed development will also assist the local economy. It is considered that the proposal will have public benefits that weigh heavily in favour of supporting the introduction of new development onto the site. When compared to the minimal harm caused to the significance of the listed building it is considered that the public benefits of the proposal can outweigh the less than substantial harm caused by the proposed development and as such the proposal does not conflict with Paragraph 134 of the NPPF.

Overall, it is considered that the proposed development does respect the character, appearance and local distinctiveness of Cotswold District in accordance with Local Plan Policy 42. In addition, the containment of new build development within the car park will significantly reduce the overall impact of development on the setting of the designated heritage asset. Whilst the proposal is considered to have less than substantial harm on the listed building it is also considered that the proposal will have a number of public benefits that outweigh the harm and that will help to secure the long term viability of the building as a public house. On this basis it is considered that the proposal is acceptable having regard to Section 66(1) of the 1990 Act and Section 12 of the NPPF.

(c) Impact on Character and Appearance of the Cotswolds Area of Outstanding Natural Beauty

The site is located within the Cotswolds Area of Outstanding Natural Beauty (AONB) wherein the Council is statutorily required to have regard to the purpose of conserving and enhancing the natural beauty of the landscape (S85 of the Countryside and Rights of Way Act 2000).

Paragraph 17 of the NPPF states that planning should recognise 'the intrinsic character and beauty of the countryside'

Paragraph 109 states that the planning system should contribute to and enhance the natural and local environment by 'protecting and enhancing valued landscapes'.

Paragraph 115 states that 'great weight should be given to conserving landscape and scenic beauty in ... Areas of Outstanding Natural Beauty.'

Local Plan Policy 42 advises that 'Development should be environmentally sustainable and designed in a manner that respects the character, appearance and local distinctiveness of Cotswold District with regard to style, setting, harmony, street scene, proportion, simplicity, materials and craftsmanship'

The application site and its surroundings are classified in the Cotswolds Conservation Board's Landscape Character Assessment (LCA) as falling within Landscape Character Area 9D Cotswolds High Wold Dip-Slope. This in turn falls within Landscape Character Type High Wold

Dip-Slope. Characteristics of this particular landscape are a softly, gently undulating landscape, large scale open arable fields with little tree cover, leading to a more complex mosaic of smaller scale arable and pasture contained within a strong framework of hedges and woodland. It also provides intermittent long distance views towards the High Wold and across neighbouring lowlands and is sparsely settled with intermittent isolated farmsteads and hamlets.

The LCA identifies 'Isolated development such as new single dwellings that might compromise rural landscape character and dispersed settlement patterns, including farm buildings converted to residential use' as a Local Force for Change. The Potential Landscape Implications of such development are listed as 'Visual intrusions introduced to the landscape, the upgrading of minor roads and lanes in areas of new development and the introduction of suburbanising features such as lighting, the introduction of 'lit' elements to characteristically dark landscapes, the proliferation of suburban building styles/materials and the introduction of ornamental garden plants and boundary features and the loss of tranquillity.' The Outline Strategies and Guidelines section of the LCA recommends that development in such locations should 'conserve the distinctive rural and dispersed settlement pattern', 'maintain the sense of openness and consider the impact of built development on views to and from the High Wold and Dip Slope Lowland' and 'control the proliferation of suburban building styles and materials.'

The existing site comprises an 18th/19th Century public house, outbuildings and modern extensions. The roadside elevation of the site reveals the historic form and character of the public house and its relationship with historic outbuildings within the site. In contrast, the land to the north, north west and south west of the principal building has a more modern character and appearance. The aforementioned areas are occupied by a car park and modern extensions. A line of Leylandii also defines the western boundary of the site. The area proposed for the new accommodation and dining buildings is therefore already heavily influenced by modern development and non-native landscape species. It does not exhibit the typical landscape characteristics of the High Wold Dip Slope as set out in the Cotswolds Conservation Board's LCA.

The proposed accommodation buildings will be approximately 6.5m in height. They will therefore be approximately 1m lower in height than the public house. The proposed buildings will also be set within the car park and will lie adjacent to the existing Leylandii. The proposed buildings will be relatively contained within the site and will not result in an encroachment of development into the surrounding countryside. New development will be seen in context with existing built forms and will not interrupt or detract from views across the High Wold Dip-slope.

The principal public views of the site are from the A429 to its east, the lane leading to the recycling centre to the south and the private road/Public Right of Way KCH71 that runs past the northern boundary of the site. From the A429, the proposed buildings will largely be screened by existing buildings. The proposed buildings are not of a size or scale that will appear prominent or obtrusive when viewed from the aforementioned highway. The same is true in respect of views of the site from the lane to the south. Existing vegetation and buildings will largely screen the proposed accommodation buildings and dining pavilion from the south. The proposed car park will introduce parked vehicles into the existing paddock. However, roadside vegetation combined with proposed new planting will reduce the visual impact of the parking area. It is also not uncommon to see parking areas adjacent to rural public houses. The proposed parking area will be seen in context with existing development and is considered not to be out of character with the location. It is also noted that the permission granted for the 32 bed hotel development on the paddock in 1995 (CD.6503/E) was considered not to have an adverse impact on the character or appearance of the AONB.

With regard to the impact of the proposal on the lane to the north, the concerns of local residents about the potential impact of development on its character and appearance are noted. In response, it is evident that northern boundary of the site is defined by a drystone wall measuring approximately 1.3 high and a line of vegetation. The existing boundary treatment is relatively informal and does allow some views into the existing car park and to the rear of the public house. The proposed development will introduce a line of buildings along the northern boundary. The proposed accommodation and dining pavilion buildings will extend for approximately 33m along

the boundary. A gap of approximately 15m will be retained between the eastern end of the proposed buildings and the existing outbuilding located in the north east corner of the site. The gap will allow for the retention of some views through to the rear of the public house. The entire length of the northern boundary will not therefore be developed. The buildings that are proposed are considered to be of a size, scale, design and proportion that is consistent with traditional rural outbuildings. It is also not uncommon to see the side and gable elevations of such outbuildings extending alongside rural lanes in the District. Whilst it is recognised that the proposed development has the potential to increase the sense of enclosure experienced by users of the lane, it is considered that the design approach is respectful of traditional building styles and is not one that would result in the introduction of an overbearing or intrusive form of development that would have a harmful adverse impact on the character or appearance of the lane.

Local concerns regarding the potential future loss of the existing Leylandii trees on the western boundary are noted. In response, it is evident that a belt of deciduous trees measuring approximately 20m in depth lies to the immediate west of the Leylandii. The tree belt will therefore continue to provide screening of the existing site should the Leylandii be removed. It is considered that there is a sufficient landscape belt to the west of the proposed development to minimise any future impact of the development on the fields/properties to the west. The existing tree belt also helps to provide a landscape buffer between the application site and dwellings located to the west. The proposed buildings will be contained within the site and the proposal will not increase the visual spread of development across open countryside towards the existing group of properties at Fosse Cross. There will continue to be a visual separation between the site and the dwellings as at present. The Council's Landscape Officer has no objection to the proposal.

Overall, it is considered that the proposed development could be undertaken without having an adverse impact on the character and appearance of the AONB and in accordance with S85 of the CROW Act 2000, Local Plan Policy 42 and guidance contained in Paragraphs 17, 109 and 115 of the NPPF.

The application has been assessed to determine whether it falls under the category of major development as set out in Paragraph 116 of the NPPF. Paragraph 116 states 'planning permission should be refused for major developments in these designated areas except in exceptional circumstances and where it can be demonstrated they are in the public interest. Consideration of such applications should include an assessment of;

- i) the need for the development, including in terms of any national considerations, and the impact of permitting it, or refusing it, upon the local economy;
- ii) the cost of, and scope for, developing elsewhere outside the designated area, or meeting the need for it in some other way; and
- iii) any detrimental effect on the environment, the landscape and recreational opportunities, and the extent to which that can be moderated'.

The Government's Planning Practice Guide states 'whether a proposed development in these designated areas should be treated as a major development, to which the policy in Paragraph 116 of the Framework applies, will be a matter for the relevant decision taker, taking into account the proposal in question and the local context.'

In this particular case, the proposed development will ostensibly be located in an existing car park and will be seen in context with existing commercial development. It will not result in an encroachment of development into the open countryside. It is of a size and scale that is considered not to be disproportionate to existing development. The proposed design and materials are also considered to respond sympathetically to local character and distinctiveness. Having regard to the proposed use and local context it is considered that the proposed development does not constitute major development in the context of Paragraph 116 of the NPPF.

(d) Arboricultural Impact

The application site is bordered by a number of protected trees. A sycamore lying between the side of the public house and the A429 is subject to an individual Tree Preservation Order (TPO) designation. An area wide TPO extends around the edge of the paddock area lying to the south of the public house. The aforementioned TPO covers the trees extending around the edge of the paddock, of which a number are classed as veteran trees.

Following discussions with Officers the applicant has positioned the new parking spaces away from the boundaries of the site. The new parking and turning areas have therefore been located in areas that predominantly fall outside the Root Protection Areas (RPAs) of the protected trees. There are small incursions into the RPA of a veteran tree lying on the western boundary and a tree lying on the eastern edge of the site. The Tree Officer is agreeable in principle to these incursions subject to further information being provided in relation to a construction methodology and soil improvement. The Tree Officer has also sought further information in respect of the proposed new access in the southern boundary. The Tree Officer has requested further information in relation to no-dig areas located within the RPAs and further details relating to soil improvement and surfacing. At the time of writing this report the outstanding matters were being addressed by the applicant.

Subject to the additional arboricultural information requested by the Tree Officer being acceptable it is considered that the proposed scheme could be undertaken without having an adverse impact on the wellbeing of protected trees and in accordance with Local Plan Policy 10. Without the satisfactory resolution of the arboricultural issues it is considered that the proposed development would conflict with the aforementioned policy. Officers will provide Members with an update at the Committee meeting.

(e) Access and Highway Safety

The application site is located adjacent to the A429. The speed limit of the A429 where it passes the site is 50mph. A traffic speed camera lies alongside the southern boundary carriageway of the A429, approximately 100m to the north of the application site. Vehicular access to the site is currently via an entrance located between the rear of the public house and the outbuilding located in the north eastern corner of the site. The existing entrance provides access to the car park. It is also used by delivery vehicles. The proposed buildings will occupy the existing car parking area. The existing access between the public house and outbuilding to its rear will be retained to provide an entrance for delivery vehicles. A turning space will be provided to the rear of the public house.

In lieu of the existing car park, the applicant is proposing to create a new parking area on the paddock to the south of the existing buildings. The proposed car park will provide 52 spaces. The existing car park provides approximately 26 spaces. Access to the new car park will be via a new entrance in the southern boundary of the site. The proposed entrance will open onto the lane leading from the A429 to Calmsden. The lane is subject to a 60mph speed limit. The new entrance will be set back approximately 30m from the A429. The applicant has provided plans showing that the proposed southern access can accommodate simultaneous access and egress for two vehicles.

The applicant has submitted a Transport Statement (TS) with the application. The TS includes details of Automatic Traffic Count surveys undertaken on both the A429 and along Calmsden Road over the course of 7 days. A Manual Traffic Count was also undertaken at the junction of the A429/Calmsden Road. Over a 24 hour period, a total of 187 vehicles westbound and 185 eastbound were recorded along Calmsden Road and 4,508 northbound and 4,413 vehicles southbound were recorded along the A429. The 85th percentile vehicle speeds along Calmsden Road were 37.8mph westbound and 39.6mph eastbound. The 85th percentile speeds along the A429 were 54.5mph northbound and 58.3mph southbound.

- 66

With regard to the junction of the A429 with Calmsden Road, the Manual Traffic Count recorded vehicle movements during the course of 2 one hour peak periods agreed with Gloucestershire County Council Highway Officers. The peak periods were 1700-1800 on a Friday and 1300-1400 on a Sunday. The recorded figures showed a total of 46 vehicles turning onto the A429 during the Friday peak and 73 vehicles turning onto the aforementioned highway during the Sunday period. With regard to vehicles turning from the A429 onto Calmsden Road the traffic count recorded 22 vehicles turning left into the aforementioned road during the Friday peak and 27 vehicles turning left during the Sunday Peak. These movements were out of a total of 528 northbound vehicle movements on the Friday and 368 movements on the Sunday. With regard to vehicles turning right into Calmsden Road, a total of 21 vehicles turned right during the Friday peak and 34 during the Sunday peak period. Total southbound vehicle movements during the aforementioned periods were 526 and 373 vehicles respectively.

With regard to road accidents, Personal Injury Collision (PIC) data indicates that there have been two accidents within the vicinity of the A429/Fosse Cross junction within the last 5 years. One accident occurred close to the junction of the A429 with Fosse Cross Lane to the east of the site. The second accident was also in the vicinity of the A429/Fosse Cross Lane junction. No accidents are reported to have occurred on Calmsden Road or its junction with the A429.

In relation to visibility at the proposed entrance, the applicant has provided an access visibility plan which demonstrates visibility of 31m to the east up to the carriageway of the A429 and 62m to the west along Calmsden Road. The latter visibility splay partly extends across third party land.

At the time of writing this report a final recommendation from Gloucestershire County Council Highway Officers was still awaited. Highway Officers have previously requested additional information from the applicant in relation to access visibility, details about the use of the delivery access to the north and details of two way vehicle tracking at the proposed southern entrance. The applicant has recently submitted these details and they are in the process of being assessed by Highway Officers. Subject to no highway objection be raised to the proposal it is recommended that the application is approved. Regard must be had to Paragraph 32 of the NPPF when considering this application. It states that 'development should only be prevented or refused on transport grounds where the residual cumulative impacts of development are severe'.

(f) Impact on Protected Species

The applicant has submitted an Ecological Appraisal (EA) with the application. The application site is essentially split into a developed northern half containing buildings and hard surfaces and an undeveloped southern half which primarily consists of improved grassland. A mix of deciduous and coniferous trees/hedging extend around the edge of the site.

Bats were found to be present on the site. The EA states that the 'The buildings provide roosting sites for bats and evidence was found in the modern extension in the form of a small number of relatively but not very fresh scattered droppings indicative of exploratory entry or possible occasional night or day use. No evidence of bats was found within the main building'. It goes on to state that 'Any potential roosting sites in the barn were limited to gaps in the stone work due to the draughty nature and construction of the roof which was corrugated metal with no lining. No evidence of bats was found after a full inspection and it is concluded that they are absent from this building'. With regard to boundary vegetation the EA states that the 'hedgerows and trees are likely to be used by various species of foraging and commuting bats, particularly along the west boundary of the site. The hedge and trees along the south and east boundary are unlikely to be important as they do not form part of a continuous linear feature'. As the existing boundary vegetation will largely remain it is considered that the proposal is unlikely to have a significant impact on existing habitat. The EA states that the 'proposed development provides an opportunity to significantly enhance the site for bats. The creation of new buildings and the provision of roosting opportunities would be of significant value. These could be incorporated into the development and/or bat boxes provided on mature trees'.

The Council's Biodiversity states that;

'Although roosting bats are using the existing modern extension to the public house and there is potential for bats to be using the public house itself, these are "untouched" by the proposed development and therefore further bat surveys are not required in order to provide full details of the roosts for this application. Consideration of the 3 derogation tests under the EC Habitats Directive is therefore not necessary'.

The application is seeking to retain the existing veteran trees around the edge of the site and will introduce additional tree planting along the eastern boundary. These are considered to be positive features of the proposal in terms of biodiversity. Aside from bats, the proposal is considered not to have a material impact on any other protected species or their habitat. The Council's Biodiversity Officer has no objection to the proposal subject to conditions requiring the development to be undertaken with the recommendations set out in the EA, a lighting strategy and the installation of bat and bird boxes. It is considered that the proposed development accords with Local Plan Policy 9 and guidance contained in Paragraphs 109 and 118 of the NPPF.

(g) Impact on Residential Amenity

The proposed development will provide additional guest accommodation and a dining pavilion building which will be used in connection with an existing public house. The proposed development will lie adjacent to a busy A road and is therefore located in an area which is already subject to a degree of background noise. The nearest residential building to the site is located approximately 270m to the west of the proposed development. In addition, a number of trees lie in between the site and existing dwellings at Fosse Cross to the west. The proposed dining pavilion will be an enclosed space and any function activity will be primarily undertaken indoors. If activity does take place outside it will be adjacent to the A429 and its associated traffic. The Council's Environmental Health Section has examined the proposal and has raised no objection to the proposal. In light of the existing commercial use of the site, its degree of separation from existing residential units and its position adjacent to the A429 it is considered that the proposal can be undertaken without having an adverse impact on the amenity of existing residents.

Other Matters

Gloucestershire County Council in their role as Lead Local Flood Authority raises no objection to the proposal in respect of drainage or flood risk. The proposed new buildings will primarily be located on existing hard surfaced areas thereby minimising the level of new hard surfacing on the site.

9. Conclusion:

Overall, it is considered that the proposed development will assist the long term viability of a designated heritage asset as well as supporting a local business and contributing to the local economy. The public benefits of the proposed scheme are considered to outweigh the limited impact on the setting of the listed building. The design, scale and form of the proposed development are considered to be appropriate for the site and not to have an adverse impact on the character or appearance of the AONB. Subject to no objections being raised from the Council's Tree Officer and Gloucestershire County Council Highway Officers it is recommended that the application is granted.

10. Proposed conditions:

The development shall be started by 3 years from the date of this decision notice.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

The development hereby approved shall be carried out in accordance with the following drawing number(s): P/001 A, P/002 A, P/003 A, P/006 A, P/100, P/101, P/110 E, P/2111 A, P/212 A, P/213 B, P/600, P/700, P/701, P/702, P/710 C, P/711 A, P/712 A, P/713 A, P/714 B, P/715, P/718 A, P/719 A, 278.17.D.001 E, 278.17.PP01 D

Reason: For purposes of clarity and for the avoidance of doubt, in accordance with paragraphs 203 and 206 of the National Planning Policy Framework.

Prior to the construction of any external wall of the development hereby approved, samples of the proposed walling and roofing materials shall be approved in writing by the Local Planning Authority and only the approved materials shall be used.

Reason: To ensure that, in accordance with Cotswold District Local Plan Policy 42, the development will be constructed of materials of a type, colour, texture and quality that will be appropriate to the site and its surroundings.

Prior to the construction of any external wall of the development hereby approved, a sample panel of walling of at least one metre square in size showing the proposed stone colour, coursing, bonding, treatment of corners, method of pointing and mix and colour of mortar shall be erected on the site and subsequently approved in writing by the Local Planning Authority and the walls shall be constructed only in the same way as the approved panel. The panel shall be retained on site until the completion of the development.

Reason: To ensure that in accordance with Cotswold District Local Plan Policy 42, the development will be constructed of materials of a type, colour, texture and quality and in a manner appropriate to the site and its surroundings. Retention of the sample panel on site during the work will help to ensure consistency.

All door and window frames shall be recessed a minimum of 75mm into the external walls of the building and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

No bargeboards, exposed rafter feet or eaves fascias shall be used in the proposed development.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

The timber boarding and timber posts shall be left to weather and silver naturally and shall be permanently retained as such thereafter unless an alternative finish is first agreed in writing by the Local Planning Authority.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

No windows, external doors, glazed screens, rooflights, dormer windows and windcatchers shall be installed/inserted/constructed in the development hereby approved, until their design and details have been submitted to and approved in writing by the Local Planning Authority.

The design and details shall be accompanied by drawings to a minimum scale of 1:10 with full size moulding cross section profiles, elevations and sections. The development shall only be carried out in accordance with the approved details and retained as such at all times.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

The new rooflights shall be of a design which, when installed, shall not project forward of the roof slope in which the rooflights are located and shall be permanently retained as such thereafter.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

Within one month of their installation, windows and external doors shall be finished in their entirety in a colour that has first been approved in writing by the Local Planning Authority and they shall thereafter be permanently retained in the approved colour unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

Within one month of its installation the flue hereby approved shall be finished in its entirety in a matt black or matt dark grey finish and it shall thereafter be permanently retained in the approved colour.

Reason: To ensure the development is completed in a manner sympathetic to the site and its surroundings in accordance with Cotswold District Local Plan Policy 42.

The entire landscaping scheme shall be completed by the end of the first planting season (1st October to 31st March the following year) following the first use of the development hereby approved.

Reason: To ensure that the landscaping is carried out and to enable the planting to begin to become established at the earliest stage practical and thereby achieving the objective of Cotswold District Local Plan Policy 45.

Any trees or plants shown on the approved landscaping scheme to be planted or retained which die, are removed, are damaged or become diseased, or grassed areas which become eroded or damaged, within 5 years of the completion of the approved landscaping scheme, shall be replaced by the end of the next planting season. Replacement trees and plants shall be of the same size and species as those lost, unless the Local Planning Authority approves alternatives in writing.

Reason: To ensure that the planting becomes established and thereby achieves the objective of Cotswold District Local Plan Policy 45.

The development shall be completed in accordance with the recommendations in Section 4 of the Ecological Appraisal report dated July 2016 prepared by All Ecology. All the recommendations shall be implemented in full according to the specified timescales, unless otherwise agreed in writing by the Local Planning Authority, and thereafter permanently retained.

Reason: To ensure that roosting bats, nesting birds, reptiles, amphibians, badgers, hedgerows and veteran trees are protected in accordance with The Conservation of Habitats and Species Regulations 2010, the Wildlife and Countryside Act 1981 as amended, Circular 06/2005, the National Planning Policy Framework (in particular section 11), and policy 9 of the Cotswold District Local Plan 2011 and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

Prior to the erection of external walls of the development hereby permitted, details of the provision of bat roosting feature(s) into the new buildings and nesting opportunities for birds (House martin, House sparrow, Starling and Swift) shall be submitted to and agreed by the Local Planning Authority, including a drawing showing the location(s) and type(s) of feature(s). The approved details shall be implemented fully in accordance with the approved details before the buildings hereby approved are first brought into use, and thereafter permanently retained.

Reason: To provide additional roosting for bats and nesting birds as a biodiversity enhancement, in accordance with paragraph 118 of the National Planning Policy Framework, Policy 9 of the Cotswold District Local Plan 2001-2011 and Section 40 of the Natural Environment and Rural Communities Act 2006.

Prior to the first use or occupation of the development hereby approved (whichever is sooner), a "lighting design strategy for biodiversity" (to minimise light spillage into trees and hedgerows and to avoid illuminating bat roost locations) shall be submitted to and approved in writing by the Local Planning Authority. The strategy shall:

- i. identify those areas/features on site that are particularly sensitive for bats and bat roosts; and
- ii. show how and where external lighting will be installed (including the type of lighting) so that it can be clearly demonstrated that areas to be lit will not disturb or prevent bat species using their territory or having access to any roosts.

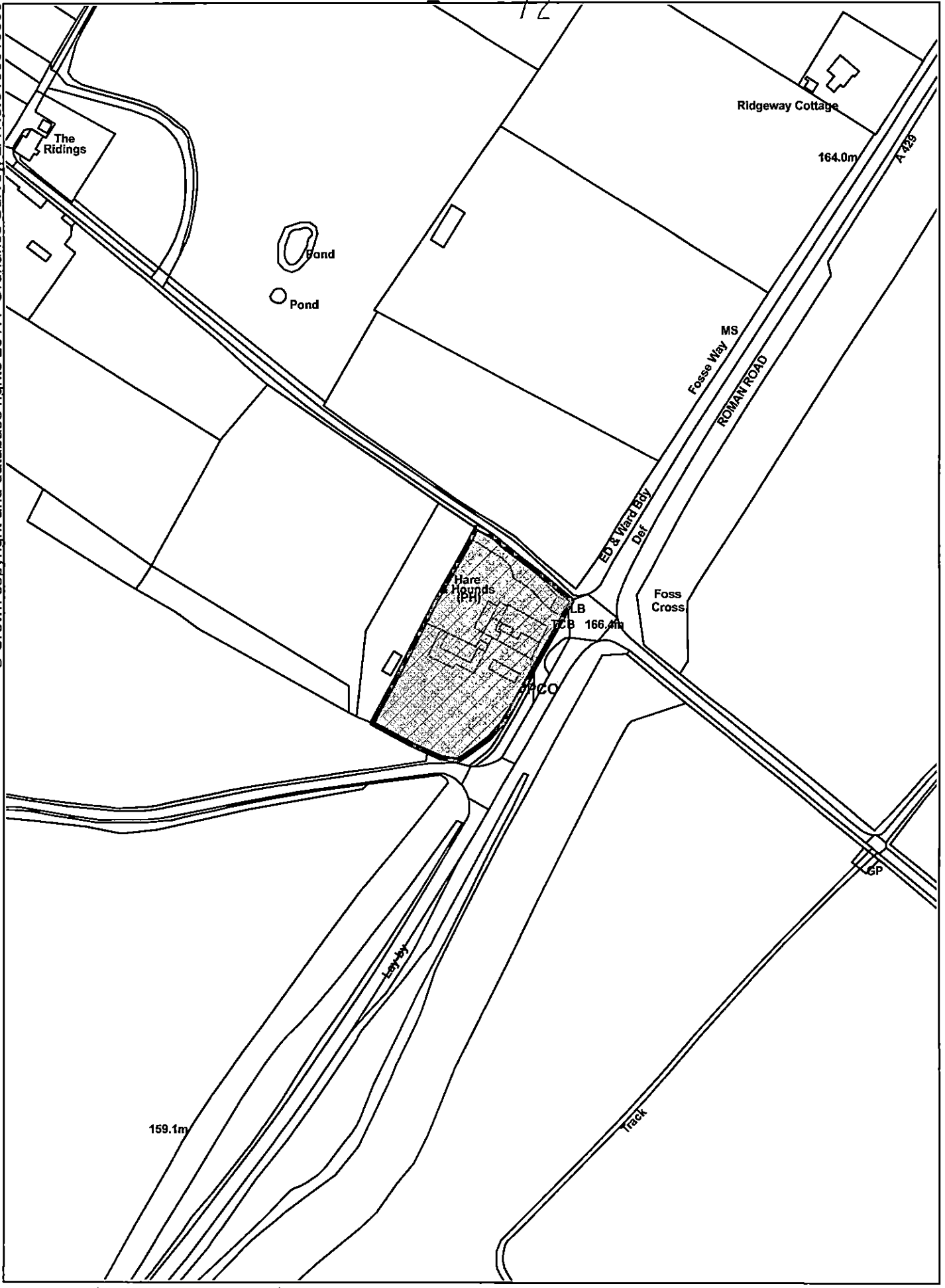
All external lighting shall be installed in accordance with the specifications and locations set out in the strategy, and these shall be maintained thereafter in accordance with the strategy. Under no circumstances should any other external lighting be installed without prior consent from the Local Planning Authority.

Reason: To protect roosting bats (in modern extension to public house) and foraging/commuting bats in accordance with the Conservation of Habitats and Species Regulations 2010 (as amended), the Wildlife and Countryside Act 1981 (as amended), Circular 06/2005, the National Planning Policy Framework (in particular section 11), Policy 9 of the Cotswold District Local Plan 2011 and in order for the Council to comply with Part 3 of the Natural Environment and Rural Communities Act 2006.

Informatives:

The applicant should note that under the terms of the Wildlife and Countryside Act 1981 (as amended) and the Conservation of Habitats and Species Regulations 2010 (as amended) it is an offence to disturb or harm any protected species, or to damage or disturb their habitat or resting place. Please note that this consent does not override the statutory protection afforded to any such species. In the event that your proposals could potentially affect a protected species you should seek the advice of a suitably qualified and experienced ecologist and consider the need for a licence from Natural England prior to commencing works. Further information can be found at the Cotswold District Council website: <http://www.cotswold.gov.uk/residents/planning-building/wildlife-biodiversity/biodiversity-development-management/> and <http://www.cotswold.gov.uk/residents/planning-building/wildlife-biodiversity/ecological-consultants/>

Evidence of roosting bats has been found in the modern extension to the Hare and Hounds Public House and there is recognised roost potential in the main part of the public house and mature/veteran trees surrounding the site. All British bat species are protected under The Conservation of Habitats and Species Regulations 2010 (as amended), which implements the EC Directive 92/43/EEC in the United Kingdom, and the Wildlife and Countryside Act 1981 (as amended). This protection extends to individuals of the species and their roost features, whether occupied or not. Please note that this consent does not override the statutory protection afforded to any such species. If proposals subsequently change and works to the existing public house, including the modern extension, or the veteran trees, are required, then a full bat survey should be carried out by a licensed bat worker/ecological consultant to inform the mitigation/compensation measures required and a licence application to Natural England.



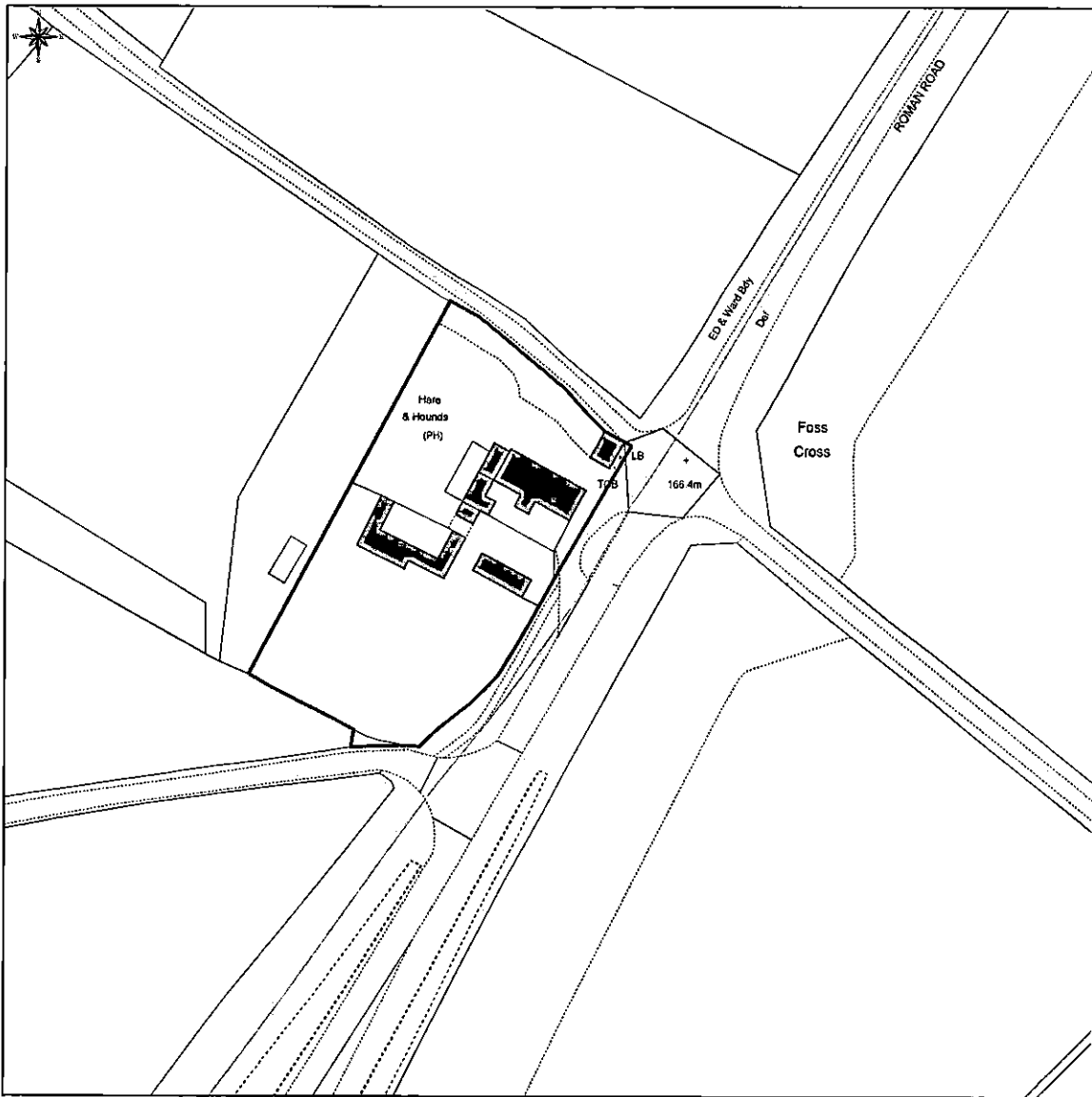
COTSWOLD
DISTRICT COUNCIL

HARE AND HOUNDS FOSSE CROSS CHEDWORTH

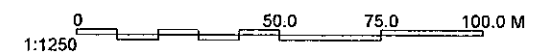
Organisation: Cotswold District Council
 Department:
 Date: 31/08/2017

Scale: 1:2500





— = Ownership Boundary



General Notes
 1 Do not scale from drawings
 2 All dimensions to be checked on site
 3 Unless otherwise stated dimensions are in millimetres
 4 Drawings to be read in conjunction with all other project drawings
 5 Copyright Millar + Howard Workshop Ltd

Rev	Date	Notes
1		
2		
3		
4		
5		

No.	Date	Issue Notes
1		

Chartered Architects
MILLAR + HOWARD
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 GL6 8NX
 t: 01453 687186
 e: info@mhworkshop.co.uk

Project
Hare & Hounds

Job No
 1516

Drawing Title
EXISTING:
 Site Location Plan

Drawn By SR Date June 2017

Scale
 1:1250@A3

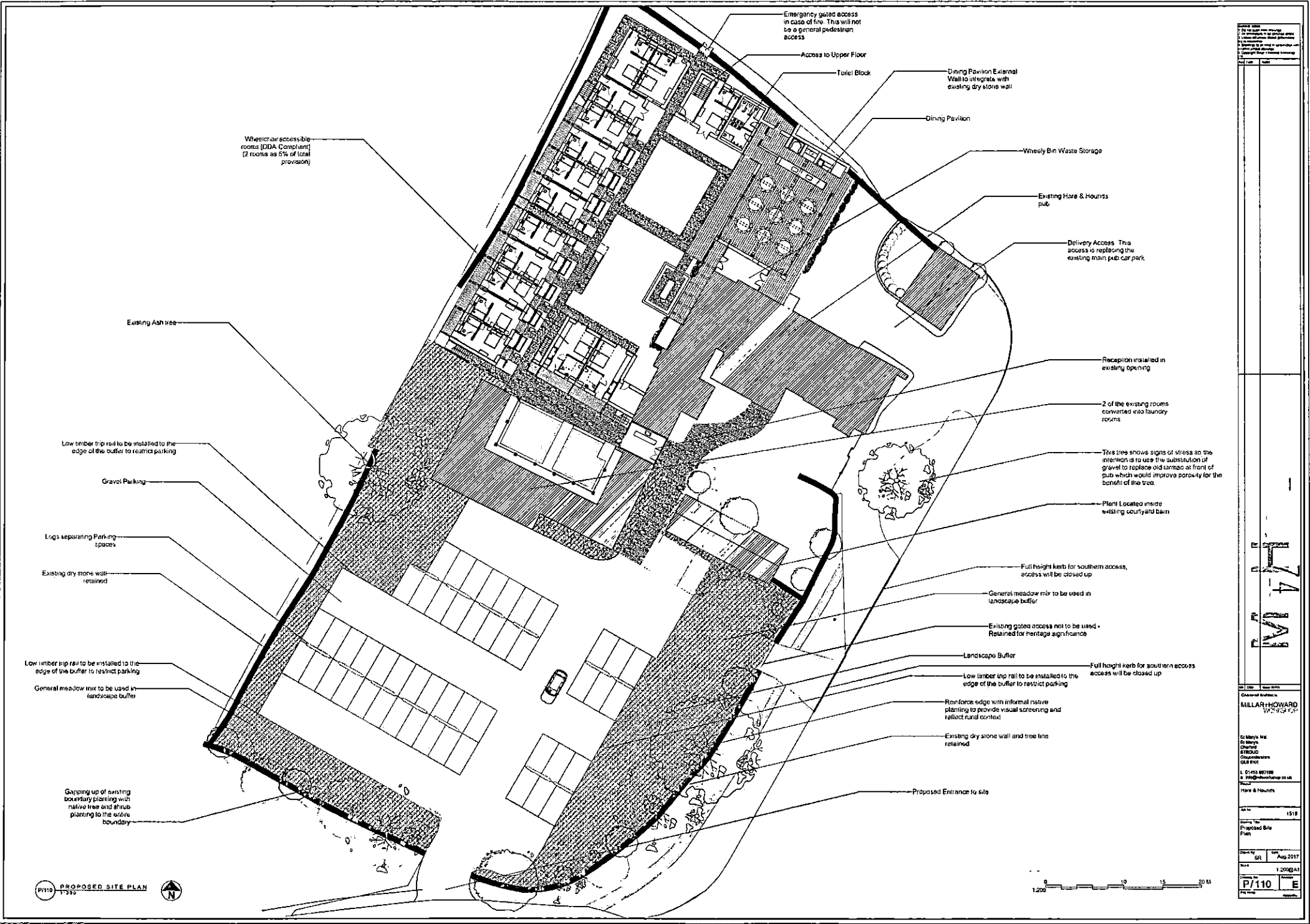
Drawing No
P/001 Revision
A

File Name name

N
P/001
SITE LOCATION PLAN
 1:1250

13

161055711 Rev



Wheelchair accessible rooms (DDA Compliant) (2 rooms as 0% of total provision)

Existing Ash tree

Low timber trip rail to be installed to the edge of the buffer to restrict parking

Gravel Parking

Logs separating Parking spaces

Existing dry stone wall retained

Low timber trip rail to be installed to the edge of the buffer to restrict parking

General meadow mix to be used in landscape buffer

Gapping up of existing boundary planting with native tree and shrub planting to the entire boundary

Emergency gated access in case of fire. This will not be a general pedestrian access

Access to Upper Floor

Toilet Block

Dining Pavilion External Wall to integrate with existing dry stone wall

Dining Pavilion

Wheely Bin Waste Storage

Existing Hare & Hounds pub

Delivery Access. This access is replacing the existing main pub car park

Reception installed in existing opening

2 of the existing rooms converted into laundry rooms

This tree shows signs of stress so the intention is to use the substitution of gravel to replace old siltmats at front of pub which would improve porosity for the benefit of the tree.

Plant Located inside existing courtyard area

Full height kerbs for southern access, access will be closed up

General meadow mix to be used in landscape buffer

Existing gated access not to be used - Retained for heritage significance

Landscape Buffer

Low timber trip rail to be installed to the edge of the buffer to restrict parking

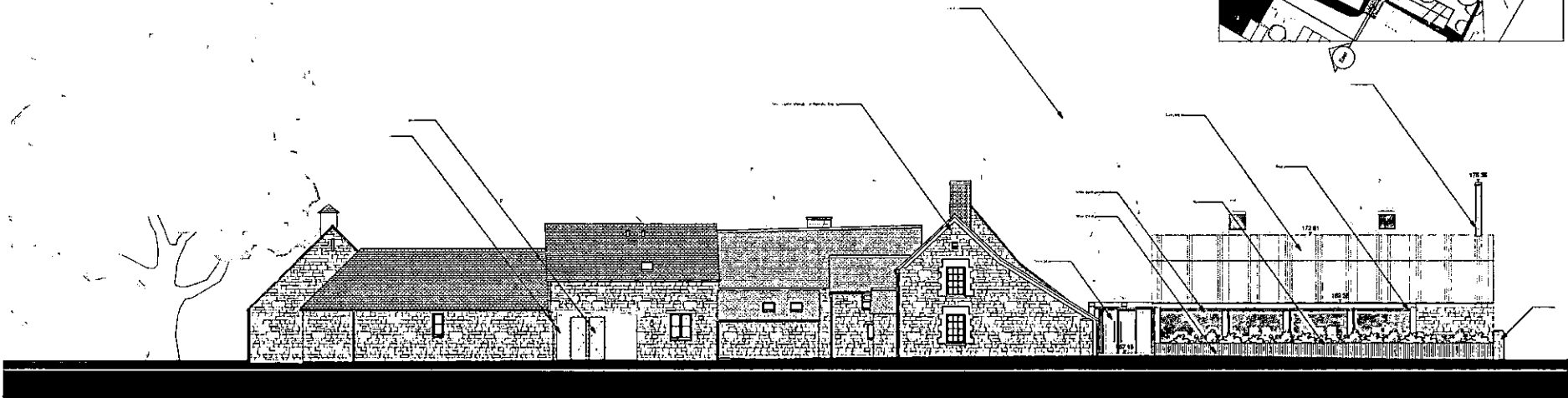
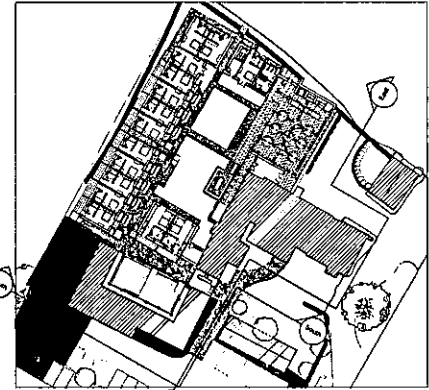
Full height kerbs for southern access, access will be closed up

Reinforce edge with informal native planting to provide visual screening and reflect rural context

Existing dry stone wall and tree line retained

Proposed Entrance to site

Client: Hare & Hounds
 Date: 15/08/2017
 Scale: 1:200
 Drawing No: P/110
 Revision: E
 Author: J. Howard
 Checker: J. Howard
 Date: 15/08/2017
 Drawing No: P/110
 Revision: E



P711 PROPOSED EAST ELEVATION
100

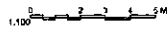
EAST ELEVATION

- Window Schedules
- 1. 1200 x 1200
- 2. 1200 x 1200
- 3. 1200 x 1200
- 4. 1200 x 1200
- 5. 1200 x 1200
- 6. 1200 x 1200
- 7. 1200 x 1200
- 8. 1200 x 1200
- 9. 1200 x 1200
- 10. 1200 x 1200



P711 PROPOSED SOUTH ELEVATION
100

SOUTH ELEVATION

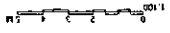


<p>1. This drawing is a preliminary drawing and is not to be used for construction purposes without the approval of the architect.</p> <p>2. The architect is not responsible for the accuracy of the information provided by the client.</p> <p>3. The architect is not responsible for the accuracy of the information provided by the client.</p>	
Client	
Architect	
Project	
Date	
<p>MILLAR HOWARD</p> <p>Architects</p>	
<p>100 NORTH 100 100 WEST STROUD COMMERCIAL OLD SITE</p> <p>1. 0140 88788 2. 100@millarhoward.com 3. 100@millarhoward.com</p>	
Job No.	1518
<p>Showing the Proposed South and East Elevation</p>	
Drawn by	BR
Date	June 2017
Scale	1:1000 A1
Project	P711
Sheet	A

MELHAR HOWARD
 ARCHITECTS P.C.
 1015 15th St NW
 Washington, DC 20004
 Tel: 202-638-1100
 Fax: 202-638-1101
 www.melhar.com

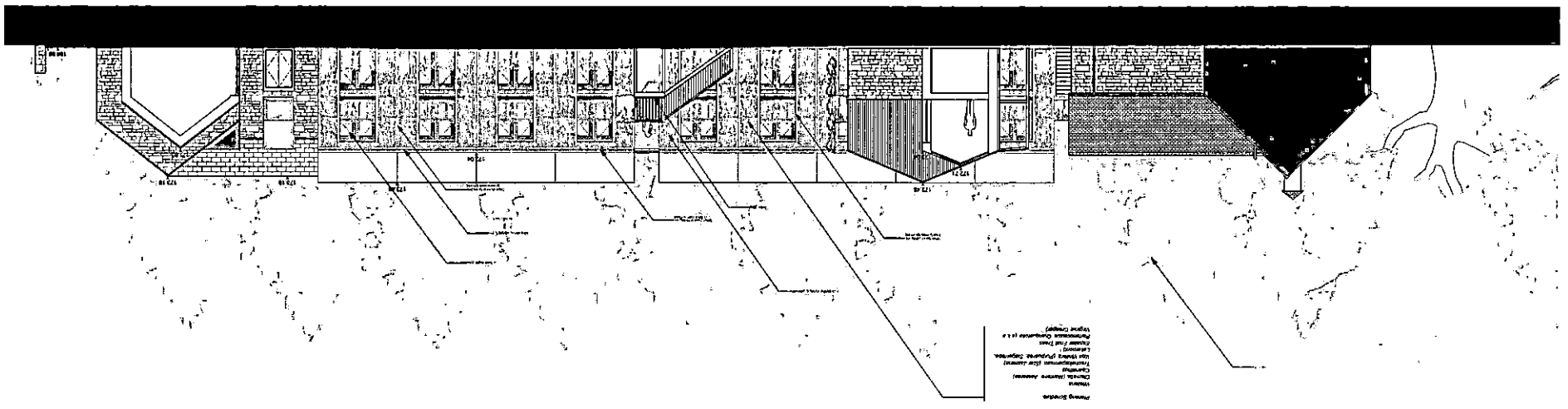
W 47th

Project No. 1000001
 Date: June 2017
 Proposed East Elevation
 1518



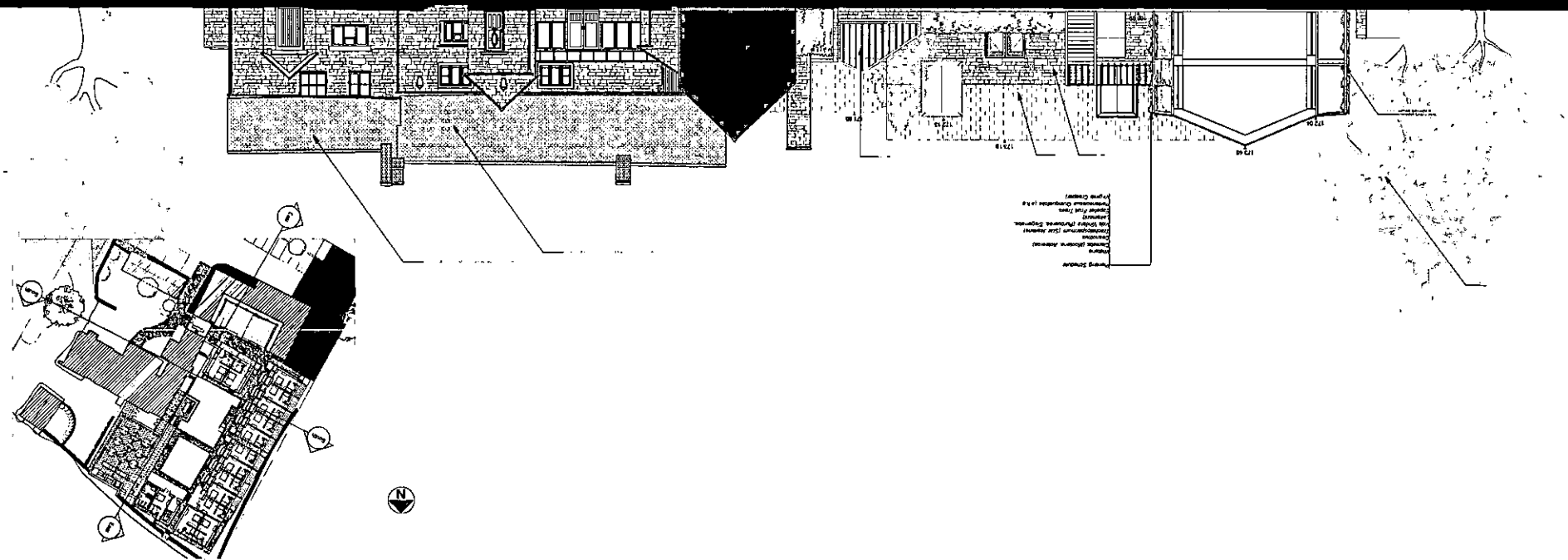
EAST COURTYARD ELEVATION

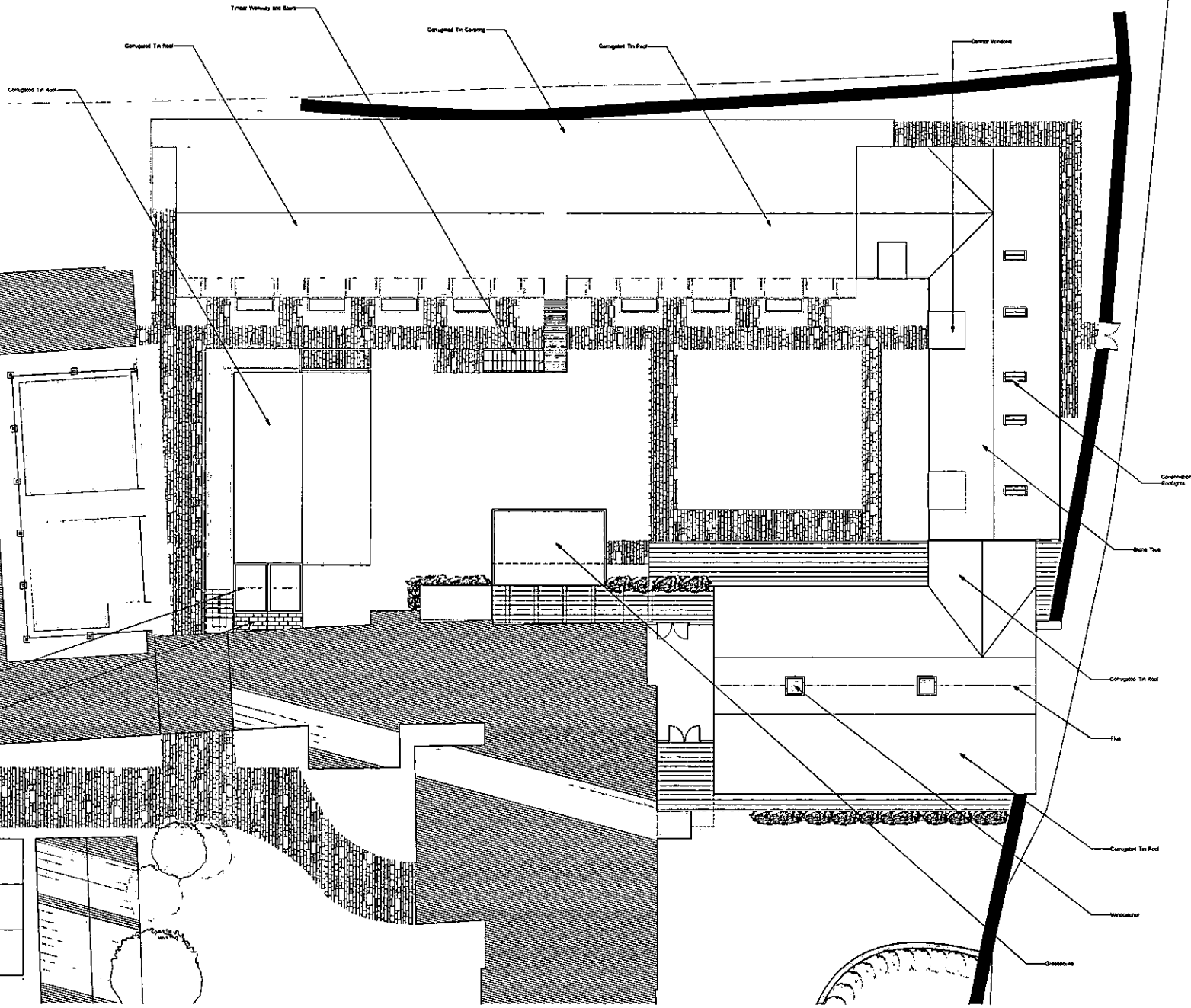
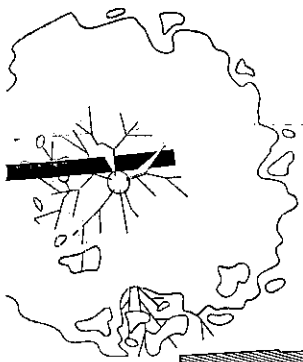
PROPOSED EAST ELEVATION
 1015



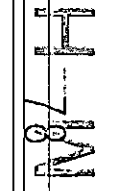
SOUTH COURTYARD ELEVATION

PROPOSED SOUTH ELEVATION
 1015





1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20



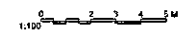
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 WORKSHOP

21 Marys Hill
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 GL10 3EQ

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 e: info@mhwa.co.uk

Project No	SR	Date	August 2017
Client	SR	Scale	1:100(A1)
Sheet	P/213	Revision	B

P/213 PROPOSED ROOF PLAN
 11/120



Planting on the Hotel Rooms

The hotel rooms will be utilising different planting schemes in order to create a soft, diverse and attractive facade that blends into its context. A series of climbers, chosen in particular for their hardiness, attractiveness and seasonal variation, will climb through the mesh supports sitting between the timber frames. (Please see the internal courtyard visualisation for reference.)

1. Wisteria (Fully Hardy Deciduous Climber)
2. Ceanothus (Hardy Evergreen Climber)
3. Trachelospermum (Frost Hardy Evergreen Climber)
4. Parthenocissus Quinquefolia (Fully Hardy Deciduous Climber)
5. Espalier Fruit Tree (Hardy Evergreen & Deciduous Trees)
6. Clematis (Fully Hardy Evergreen Climber)
7. Vitis Vinifera (Purpurea Variety - Hardy Deciduous Climber)



8.0 Appearance, Design and Materiality

The appearance of the proposal is sympathetic to the development and its rural context, using materials suitable to its form and location.

1. Cotswold Stone Cladding
2. Stone Tiles
3. Timber Cladding
4. Timber Frame with Planting
5. Corrugated Tin Roof
6. Cotswold Dry Stone Walling
7. Mesh for Climbing Plants



Courtyard Visualisations

Below is an internal visualisation of the site. The different elements of this design; materiality, planting and gardens are considered earlier in this report. The image illustrates the use of the planted mesh, the kitchen garden, cotswold stone and timber cladding, the greenhouse and the open south-east facing courtyard.



Visualisation after occupation and planting

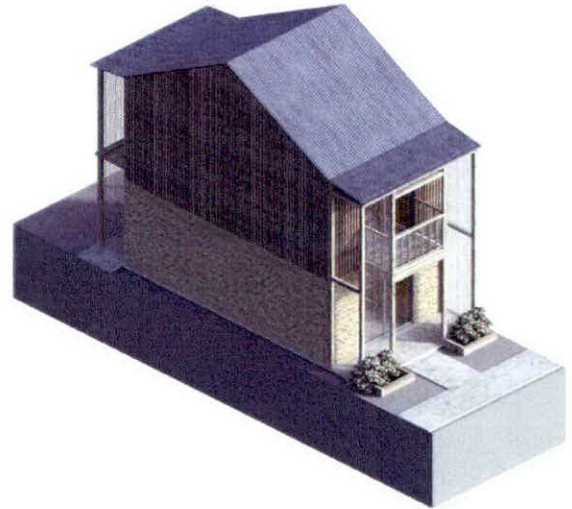


Visualisation before occupation and planting



Hotel Room Visualisations (Without Planting)

Below are two visualisations of some of the hotel rooms indicating the appearance before planting is applied to the mesh facade. The use of timber and stone reflects the local vernacular and will provide a suitable backdrop to the variety of climbing plants that will grow in front.

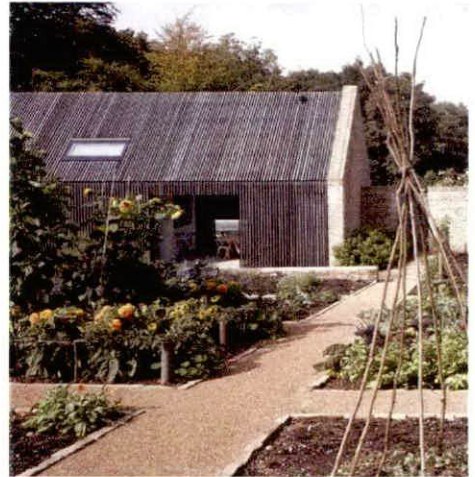


Proposed Materiality

Module with Cotswold Stone and Timber Cladding
without planting



Module Elevations without planting



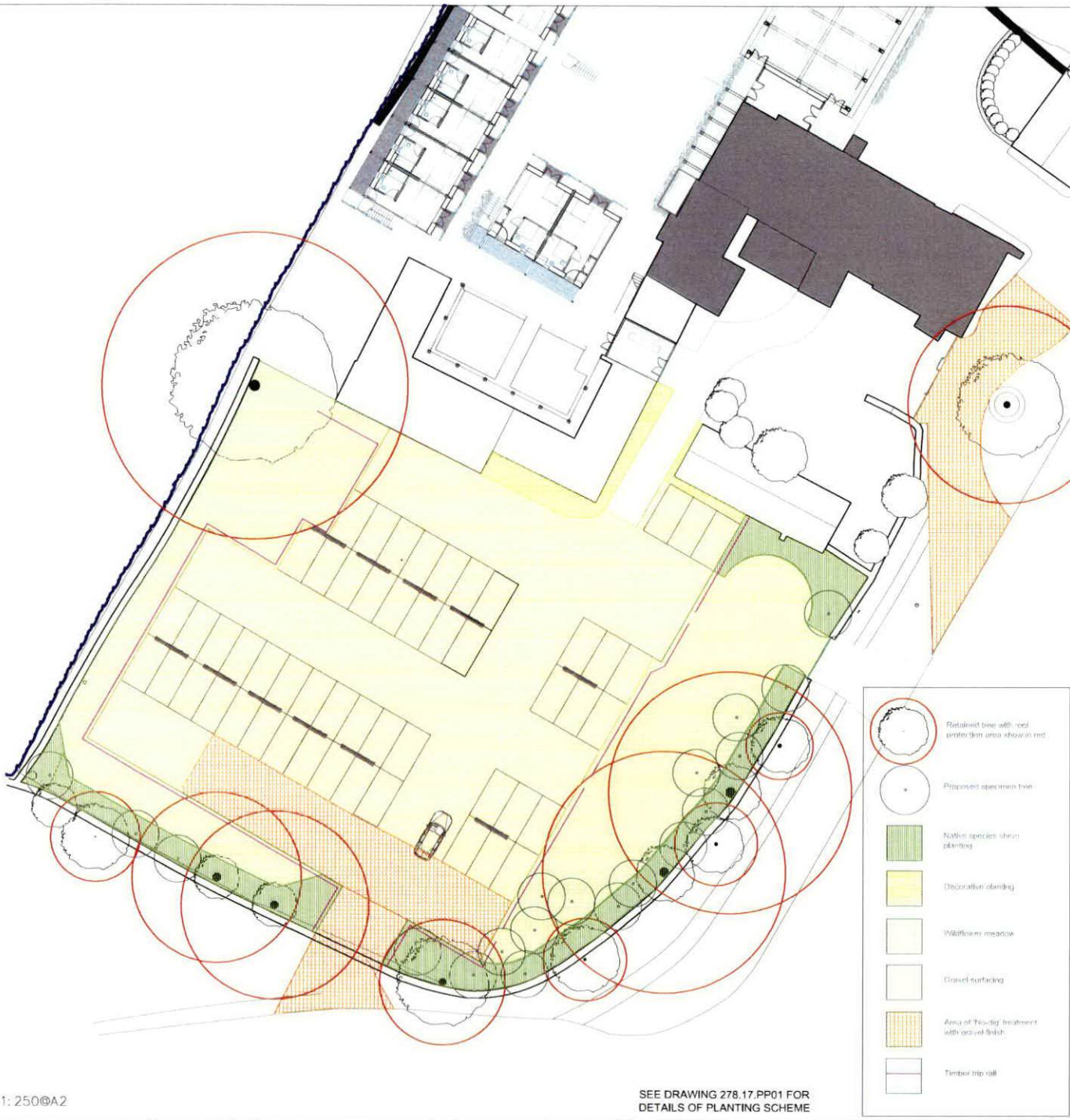
Rooms in Gardens



Rooms in Gardens

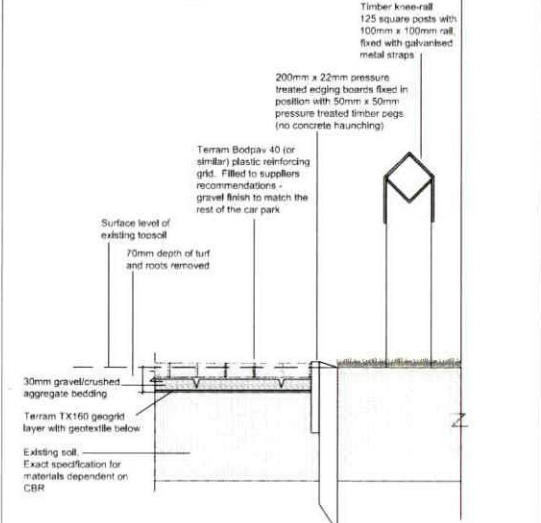
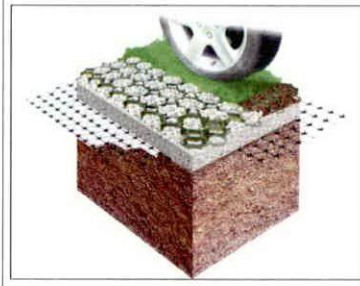


Looking into the form without planting



1: 250@A2

SEE DRAWING 278.17.PP01 FOR DETAILS OF PLANTING SCHEME



1: 10@A2

Detail for No-dig construction within RPA

no.	revision	description	date	by	check
E		Revision of landscape buffer	24.08.17	-	LB
D		Revision of landscape buffer	22.08.17	-	LB
C		Redesign of landscape buffer	22.08.17	-	LB
B		Minor amendments to parking bays	04.08.17	-	LB
A		Surfacing arrangement revised	31.07.17	-	LB

DO NOT SCALE
copyright reckles orchard landscape consultants

status INFORMATION
 project HARE & HOUNDS
 client MARK - HENRIQUES
 architect MILLAR - HOWARD WORKSHOP
 engineer -



Reckless Orchard Landscape
 Consultants
 The Studio, The Mill Site,
 Llanegwally, Monmouth,
 SA65 8TD, 01600 250800
 www.recklessorchard.com

PROPOSED CAR-PARK LANDSCAPE - PROPOSAL

scale	date	drawn by	checked by
VARIES	24.03.17	-	LB

278.17.D.001

86



SOIL LANDSCAPE NOTES
 Use of any existing drainage only. A comprehensive specification shall be provided prior to landscape construction for works.

PLANTING PREPARATION
 Planting beds shall be cut as shown on the drawings. Beds shall be a minimum of 1.2m wide unless noted otherwise.
 Curved beds shall be cut out using well worked soil ground or with spray cake. Transitions between concrete and concrete curbs shall be cut to form smooth flanking lines.

EASTING TREES AND HEDGES
 All planting shall be done in accordance with the specifications in the relevant sections of the specification. Works shall have access to water on the day of planting.

PREPARATION OF SOFT LANDSCAPE AREAS
 NEW PLANTING AREAS
 All new planting areas shall be prepared in accordance with the specifications in the relevant sections of the specification. Works shall have access to water on the day of planting.

TOPSOIL SPECIFICATION
 Topsoil shall conform to BS 3882:2015.

TOPSOIL HANDLING
 Existing topsoil shall be stripped and stored in piles not more than 2.0m high. Existing waste and weed material shall be removed from the site in accordance with the specifications in the relevant sections of the specification. Topsoil shall be stored in piles not more than 2.0m high. Existing waste and weed material shall be removed from the site in accordance with the specifications in the relevant sections of the specification. Topsoil shall be stored in piles not more than 2.0m high.

PLANTS
 Plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.

CLIMATIC CONDITIONS
 All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.

BACKFILLING MATERIAL
 All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.

TREE PITS
 All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.

SHORT SINGLE STAKING
 All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832. All plants shall be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.

DO NOT SCALE

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INFORMATION

revision: 1
 project: HARE & HOUNDS
 client: MARK-HENRIQUES
 architect: MILLAR-HOWARD WORKSHOP
 engineer: [blank]

no. 1
 revision: 1
 date: 24.05.17
 by: [blank]
 checked by: [blank]

Revision to be planting
 Hare & Hounds
 Millar-Howard
 11, The Quadrant, London
 W1 4JF, UK. Tel: 020 7463 0000
 www.millar-howard.com

Revised by: [blank]
 Date: 24.05.17
 Drawn by: [blank]
 Checked by: [blank]

24.05.17
 22.05.17
 22.05.17
 22.05.17

Revised by: [blank]
 Date: 24.05.17
 Drawn by: [blank]
 Checked by: [blank]

24.05.17
 22.05.17
 22.05.17
 22.05.17

Revised by: [blank]
 Date: 24.05.17
 Drawn by: [blank]
 Checked by: [blank]

24.05.17
 22.05.17
 22.05.17
 22.05.17

HARE & HOUNDS PLANTING

TREES

Species	Size	Quantity
Cornus kousa	1.1 60-90cm	1
Prunus yedoensis	1.1 60-90cm	1
Quercus robur	1.1 60-90cm	1
Quercus ilex	1.1 60-90cm	1

SHRUBS

Species	Size	Quantity
Hydrangea paniculata	1.1 60-90cm	1
Hydrangea serrata	1.1 60-90cm	1
Hydrangea quercifolia	1.1 60-90cm	1
Hydrangea macrophylla	1.1 60-90cm	1
Hydrangea arborescens	1.1 60-90cm	1
Hydrangea corymbosa	1.1 60-90cm	1
Hydrangea quercifolia	1.1 60-90cm	1
Hydrangea macrophylla	1.1 60-90cm	1
Hydrangea arborescens	1.1 60-90cm	1
Hydrangea corymbosa	1.1 60-90cm	1

CLIMBERS TO GARDEN WALLS

Species	Size	Quantity
Hydrangea paniculata	1.1 60-90cm	1
Hydrangea serrata	1.1 60-90cm	1
Hydrangea quercifolia	1.1 60-90cm	1
Hydrangea macrophylla	1.1 60-90cm	1
Hydrangea arborescens	1.1 60-90cm	1
Hydrangea corymbosa	1.1 60-90cm	1

HERBACEOUS

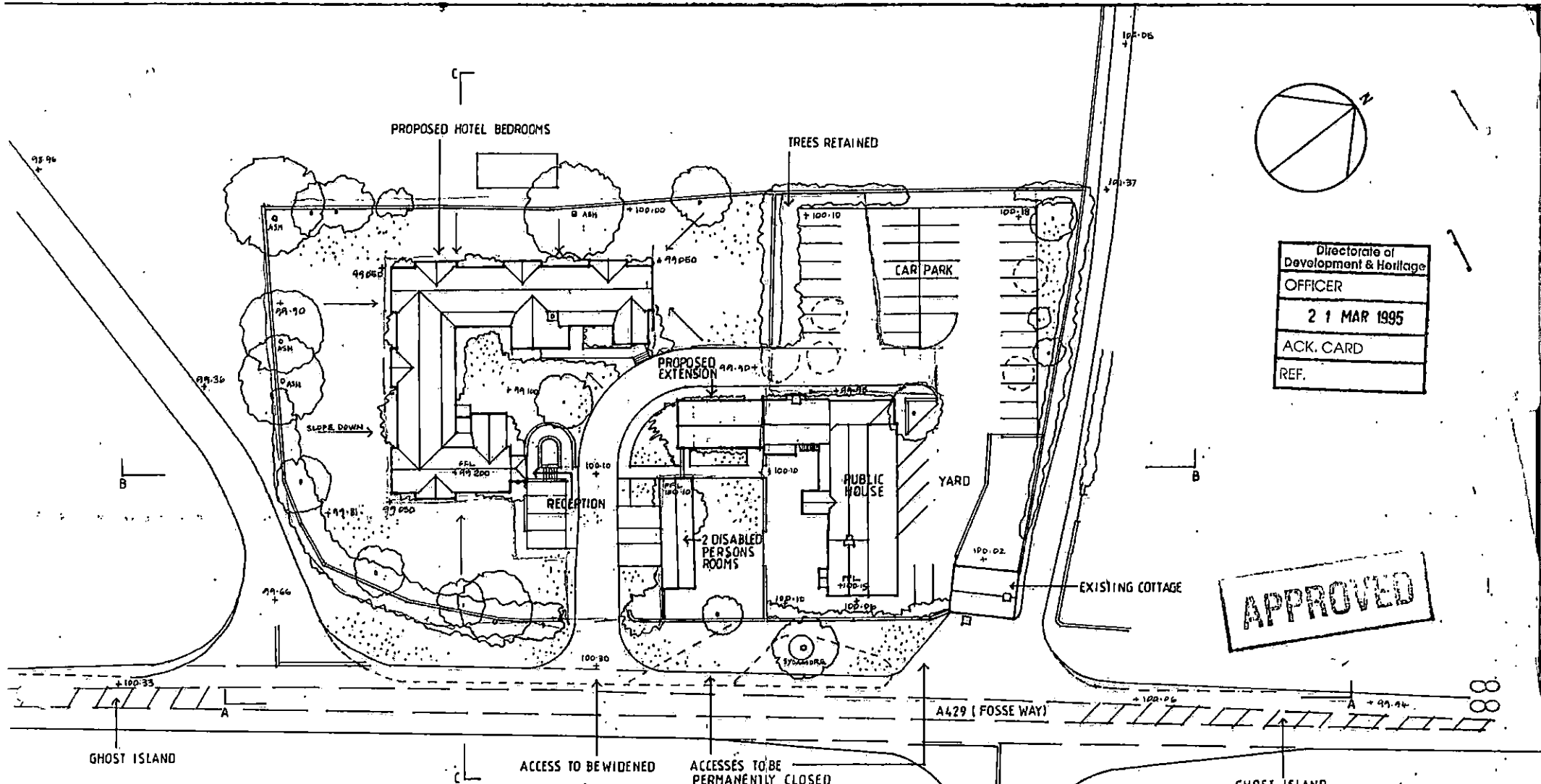
Species	Size	Quantity
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Hydrangea serrata	1.1 60-90cm	1
Hydrangea quercifolia	1.1 60-90cm	1
Hydrangea macrophylla	1.1 60-90cm	1
Hydrangea arborescens	1.1 60-90cm	1
Hydrangea corymbosa	1.1 60-90cm	1

MADDOCK

Plant at 750mm centres.
 Protected with clear spray rabbit guards.

Maintenance

Minimum prices to be given with Engage's LMA2 M11.
 All plants to be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.
 All plants to be supplied in the relevant sections of BS 5831 and the relevant sections of BS 5832.



Directorate of
Development & Heritage
OFFICER
21 MAR 1995
ACK. CARD
REF.

APPROVED

REV. A PROPOSED BUILDING DROPPED 900MM LEVELS INDICATED. RAMP & STEPS ADDED. 9.95

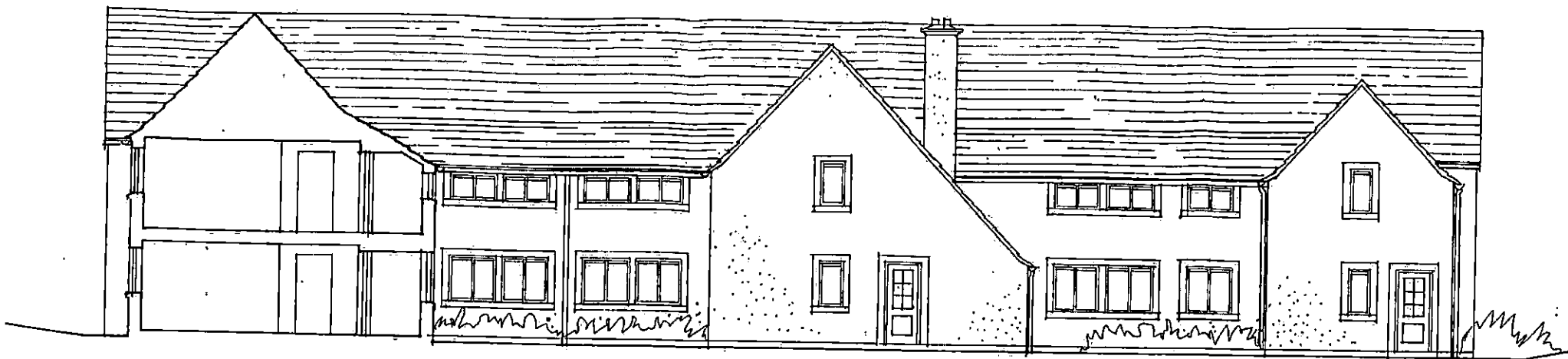
0.418 acm
0.194 Ha
→ 0.64 acm
0.259 Ha

1995
APPROVAL
CD 6503/E

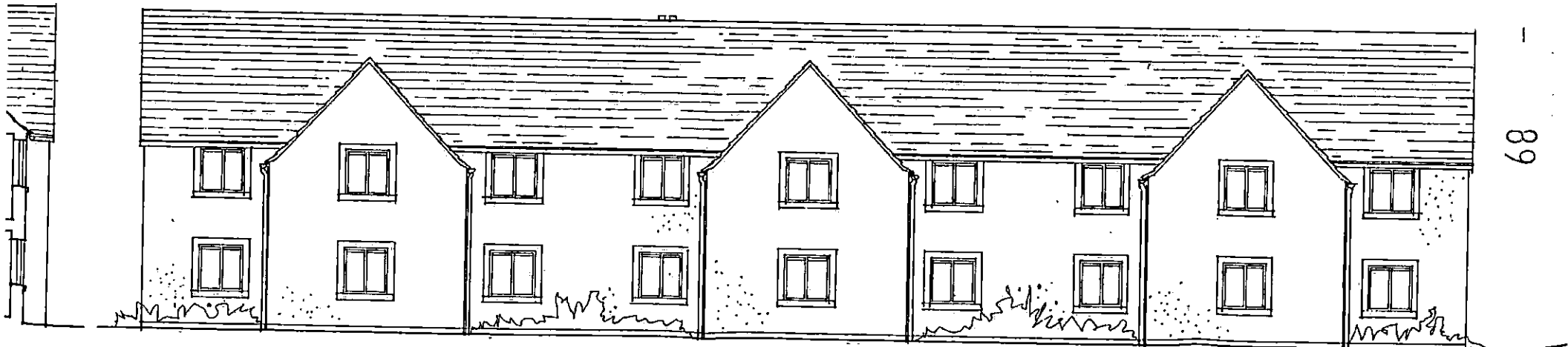
IVOR JONES ASSOCIATES
PLANNING & DEVELOPMENT CONSULTANTS
10/12 DOLLAR STREET
CIRENCESTER
GLOS
GL7 2AL TEL: 0285 655706

PROPOSED BUDGET HOTEL PROJECT
HARE & HOUNDS, FOSSE CROSS
PROPOSED SITE LAYOUT PLAN
1:500
AUGUST 1994
DRAWING NO. 94/137/2 A

APP



SOUTH EAST



NORTH WEST

89

1995
 APPR 2012
 G6503/E

Proposed Materials (new hotels rooms)

- Walling - roughcaste render with reconstructed stone surrounds
- Roofing - artificial Cotswold stone slates
- Windows - painted metal/stained timber to porch

Mr. Martin Perks, Senior Planning Officer
Cotswold District Council, Cirencester, GL7 1PX

4 August 2017

Dear Sir,

Application Ref: 16/05371/FUL
Site: Hare and Hounds, Fosse Cross, Chedworth, Glos. GL54 4NN
Proposal: Erection of 28 hotel bedrooms and dining pavilion, creation of new car parking and new access and use of Barn as plant room.

The Applicant has made a positive design alteration to the Northwest corner motel rooms in response to comments from the Conservation Officer. The Applicant has however ignored significant objections and comments from virtually all other Consultees both Statutory and otherwise.

The Residents of Fosse Cross welcome action to revitalise the Hare & Hounds, a traditional Cotswold pub with rooms in the CAONB; to promote the broader rural economy; and to promote sustainable tourism in the area. This current proposal however achieves none of these objectives.

The stated proposal is essentially a motel providing accommodation and dining facility for guests at the Applicant's existing and future wedding venues. The Applicant has stated that the Dining Pavilion will be used for dining only so we assume it will not be used as an event venue although it is intended to accommodate all the wedding guests not just those staying at the Hare & Hounds for secondary wedding party events.

The proposal's concept, layout, design and scale are contrary to a wide range of statutory and local planning policies as well as guidelines and recommendations of other Consultees, including Statutory bodies. It is a considerably more damaging development than the Planning Consent for a hotel granted in 2000. Given its rural location in a small hamlet, it is highly questionable whether this over development could be self-sustaining beyond its purpose to service the Applicant's wedding business.

We urge the Planning Officer to refuse this development.

The substantial harm caused by this proposed overdevelopment significantly and demonstrably outweighs its very limited potential benefits.

Our Objections listed below should be read in conjunction with our earlier petition (15/2/17) which still stands in its entirety.

- **Overwhelming Impact on Hare and Hounds as a Listed Building and "Heritage Asset"**
- **Design and Materials wholly out of Keeping with Grade II Listed Buildings**
- **Adverse Impact on Cotswold Area of Outstanding Natural Beauty**
- **Dangerous Impact on Traffic Safety, especially Access**
- **Adverse Impact on the Use of Public Footpath Chedworth 71**
- **This project seeks to override a range of legitimate planning considerations**
 - Inadequate analysis of need for more hotel rooms in a rural area
 - Insufficient benefit to sustainable local tourism
 - Insufficient economic benefit to rural economy
- **Scale of development and Suburban Cramming unsuitable for existing plot**

- **Adverse Amenity Impact on Hamlet of Fosse Cross**
- **Adverse Impact on Trees/Wildlife**

Overwhelming Impact on Hare & Hounds as a Listed Building and Heritage Asset (NPPF Paragraphs 131- 134, Emerging Policy EN1)

- The proposed extensive redevelopment is not necessary to preserve the Listed Building. The Conservation Officer wrote (22/2): *"The main heritage considerations are to maintain the essential character of the Inn and associated buildings as a small cluster of buildings in rural isolation"*. This proposed development clearly breaches this consideration. It will double the current built form footprint. Together with the existing rooms, approx two-thirds of the buildings will be modern and of widely varying construction style. The proposed new build and car park will completely engulf the Grade II listed pub building, vastly diminishing its significance.
- The 145 sqm Dining Pavilion will block off half of the northern elevation of the pub and become the most prominent feature of the site, highly visible from the Footpath and the Fosseway (see Visualisation 2 and 3 attached).

Design and Materials wholly out of keeping with Grade II Listed Buildings; do not conform with the Cotswold Design Guide (Adopted Policy 42, NPPF Paragraphs 17 and 58, Emerging Policy EN2.)

- The quasi industrial, quasi suburban, quasi vernacular design has raised vociferous objections by every relevant Consultee. The revised proposals add a further proliferation of build styles and roof types contrary to CAONB's strategy to *"Control the proliferation of suburban building styles and materials"*. The considerable efforts to hide the new build with the Dining Pavilion and foliage amply demonstrates its lack of design merit.
- The wooden upper floors of 23 cost-effective motel rooms and near flat corrugated tin roofs are contrary to CAONB recommendations to *"Promote the use of local stone and building styles in the construction of new buildings and extensions"*. The non-vernacular build is likely to deter non-wedding guests from staying at the Hare & Hounds. Even the Travelodge, a 43 room budget motel on the industrial outskirts of Cirencester, has fully stone clad walls and a pitched, tiled roof.
- The plan for foliage to hide the 23 modular motel rooms will be ineffectual especially as it is being grown on land which has been tarmac for many years. Moreover, the back side relies on tree screening not owned by the Applicant. The Conservation Officer (22/2) has commented: *"It is not permissible to rely on plant growth to the exterior of the building to mitigate visual harm to this extent"*.

Adverse Impact on Cotswold Area of Natural Beauty (High Wold Dip Slope) (NPPF Paragraph 115, Emerging Policy EN5.)

- This proposal fails to satisfy several of the Cotswold AONB Landscape Strategies and Guidelines (June 2016). The NPPF requires great weight be given to conserving the landscape and to ensure new development is visually integrated with the rural landscape.
- Every relevant Consultee has objected to the design of the car park. The revised proposal offers little fundamental change. The Tree Team (10/7/17) noted that its comments from February and April had still not been addressed. The Biodiversity Officer echoed this (13/7/17): *"The car park layout therefore needs to be re-visited as per the original comments of the Tree Officer"*

before determination. Apart from the arboricultural impact, my previous comments regarding the bat survey and other ecological issues still stand, including the recommended conditions."

- Official parking for 60+ vehicles, together with considerable 'overflow parking', confirms the development is a modern roadside motel not in keeping with the CAONB.

Dangerous Impact on Traffic Safety, especially Access (Adopted Policy 38, NPPF Paragraph 32, Emerging Policy INF4)

- The Fosseway is the busiest North-South route in the Cotswolds. The proposed car park entrance off the Calmsden Lane will start about 25 metres from the junction with the Fosseway. As most traffic to the pub will come off the Fosseway, it will be turning right into the car park. This road leads to the Fosse Cross recycling centre and is particularly busy at weekends and there are minor accidents and near-misses regularly at this junction. The potential for significantly increased number of accidents at this junction with the new car park access is obvious (see Aerial photo).
- The current entrance to the Hare & Hounds car park has a wide apron opening off the main road making the turn less sharp and more visible. The proposal still retains this entrance for deliveries but it has limited turning space for larger lorries meaning some will have to reverse out.

Adverse Impact on the Use of Public Footpath Chedworth 71 contrary to NPPF para 75

- The new Dining Pavilion, the toilet block and one block of motel rooms are proposed to run along much of the northern boundary of the site, directly abutting the stone wall boundary with the footpath running between Chedworth and Fosse Cross. This development will block the current view over the stone wall of the main flank of the old pub in the near distance. Instead there will be a two-storey high wall of modern stone cladding and an industrial flue which will completely overshadow this already narrow section of a single-track Lane close to the junction with the Fosseway.
- The Pavilion is also proposed to be built intruding into the privately-owned verge of the Lane (see Visualisation 1).

This project seeks to override a range of legitimate planning considerations

No evidence to support increased hotel accommodation requirement or that more suitable locations were explored (Adopted Policy 26 and Emerging Policy EC11)

- The Applicant states the existing wedding venue business requires considerable additional local accommodation. Yet both the Hare & Hounds and other local hotels have vacancies on many weekends for the remainder of 2017. The Cirencester area provides a further 450+ hotel rooms. The new Local Plan states that Cirencester already has "an adequate supply of hotel accommodation".
- NPPF paragraph 24 requires that the Applicant first demonstrates the need for accommodation of this type and scale, and secondly justifies the location starting with more sustainable locations in town centres. It is not near to any major local attraction to justify its development in a rural area contrary to both adopted Local Plan Policy 26 and to emerging Local Plan Policy EC11.
- The rationale for a complex of this scale has not been established at this rural location. The fact that there are already 8 letting rooms is a wholly inadequate justification. The fact that the

Applicant owns the site and it is near the current and future wedding venues is equally irrelevant.

This proposal will not promote quality, sustainable tourism; it will inhibit it (Adopted Policy 26, NPPF Paragraph 28 and Emerging Policy EC11)

- The Hare & Hounds received planning consent in 1994, renewed in 2000, for a 30+ hotel which it never built, opting for 8 letting rooms instead. The fact that there is considerable vacancy even for these 8 rooms demonstrates the unsustainability of a stand-alone tourist hotel at this location.
- This development centres on accommodating and feeding wedding guests who will stay one, occasionally two, nights. They are unlikely to visit or spend elsewhere in the district.
- Moreover, general tourists will be unlikely to choose the Hare & Hounds for their stay in the Cotswolds given the anticipated disturbance of a large group of wedding guests and the quasi industrial build of most of the motel rooms. All traffic to and from the Hare & Hounds will be private cars.

No evidence of wider benefit to the rural economy (NPPF Paragraph 28)

- The Applicant's Design & Access Statement claims its *"overall aim is to reinvigorate the Hare & Hounds, making it a sustainable business that will be of benefit to the local and wider community"*. There is no evidence that this development will benefit the wider local economy beyond the Applicant's business and its suppliers.
- There is no public transport to the Hare & Hounds. A new motel in a town setting would create more sustainable employment because employees would not need to drive to it.

Scale of development unsuitable for existing plot and suburban cramming contrary to CAONB guidelines (NPPF Paragraph 115, Emerging Policy EN5)

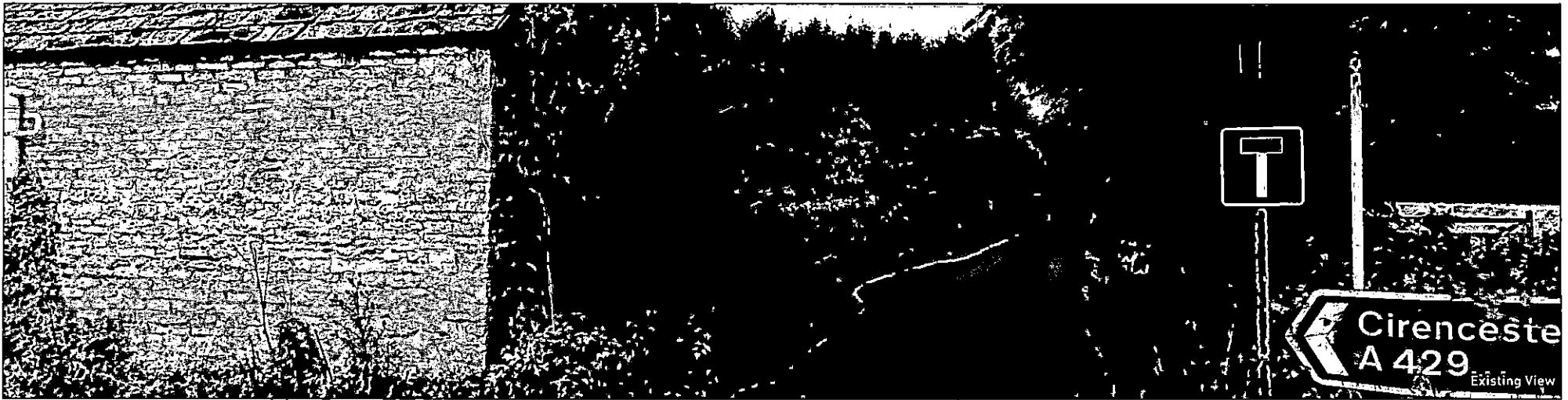
- The Hare & Hounds is under 2 acres, of which the grass paddock comprises nearly half. The proposal including parking on the entire grass paddock will mean the whole plot is built on. Although no 'Phase 2' is referenced in the revised proposal, the cramming of the new build into a restricted area leaves potential for further development at a later stage despite strong objection to further development from all relevant Consultees.
- The current proposal squeezes 28 new motel rooms and the Pavilion into the current car park, right up against the northern and western boundary wall contrary to CAONB guidelines that the *"Layout of development should respect local built character and avoid cramming up to boundaries resulting in hard suburban style edge to the settlement"*.
- The Council's Landscape Officer objected to the scheme, suggesting that *"built form [be set] back from the northern boundary and enhance planting alongside the lane/PRoW route"*. This recommendation has not been incorporated into the revised proposal.
- The Conservation Officer (22/2) wrote that *"The impact of the new development along the North-East boundary of the site is likely to appear stark, prominent and incongruous in relation to the wider rural context. It is recommended that some provision for planting along this boundary with Foss Cross Lane is incorporated into the layout and landscaping plan."* The

revised drawings show that the position of the new build right on this boundary wall has not been changed at all, leaving very little scope for planting by the motel rooms, and none along the Dining Pavilion wall.

Adverse Amenity Impact on the hamlet of Fosse Cross (Adopted Policy 5, NPPF Paragraphs 17, 109, 120, 123, Emerging Policy EN15)

- The Hare & Hounds is not *"an isolated and rural inn relatively distant from any settlement"* (The Applicant's Conservation Statement). It is in fact an integral part of the hamlet of Fosse Cross.
- This new development is on a scale wholly out of keeping with a rural landscape within the CAONB and with the hamlet. It will completely overwhelm the 8 houses on the single-track lane on the pub's northern boundary. From the rear of the proposed motel rooms, it is 150 metres to the garden of the nearest neighbour and the remaining houses are proximate.
- It is a peaceful and tranquil hamlet. The Applicant has stated that the Dining Pavilion will be used for dining only so we assume it will not be used as an event venue which could have noise levels which would adversely affect the residents of Fosse Cross. We assume, if this Dining Pavilion is approved, appropriate noise conditions will be applied.
- The Dining Pavilion has extensive cooking facilities at its Northern end, backing on to the lane, including deep fat fryers, as well as a toilet block. There is no indication how smell will be handled.

Signed See separate sheet



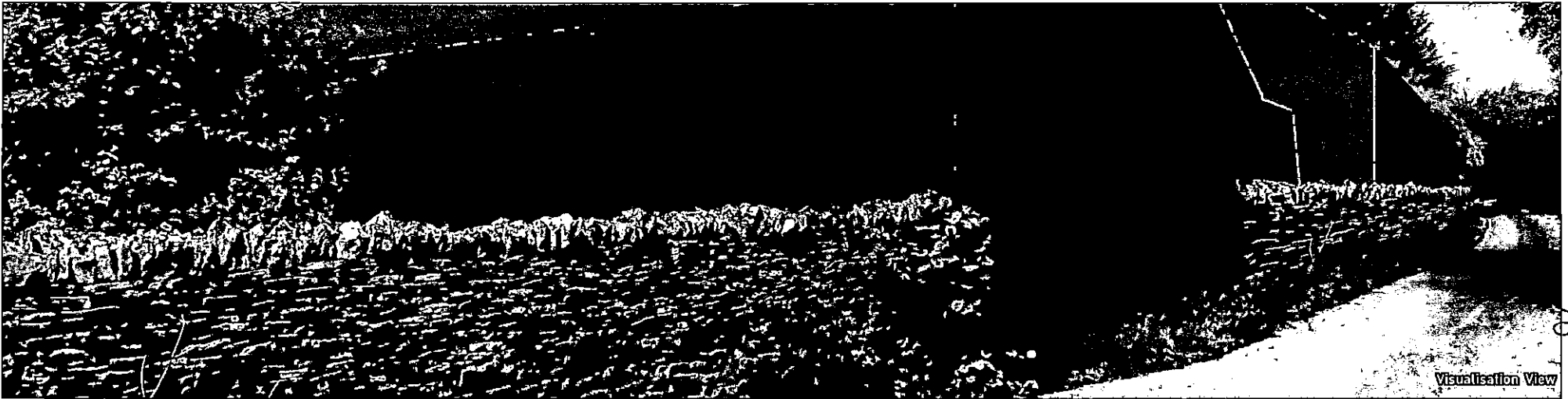
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 Recommended Viewing distance : 30cm
 Angle of view : 75°
 Camera height set at 1,5m
 Document dimensions (420mm x 297mm)

VISUALISATION 1

**Hare & Hounds,
Fosse Cross**

Client: Anne Collier
 DRWG No: **P17-0216_01** Sheet No: 1 of 3
 Drawn by: CS Approved by: AD
 Date: 03/08/2017 REV: A

Pegasus
Environment



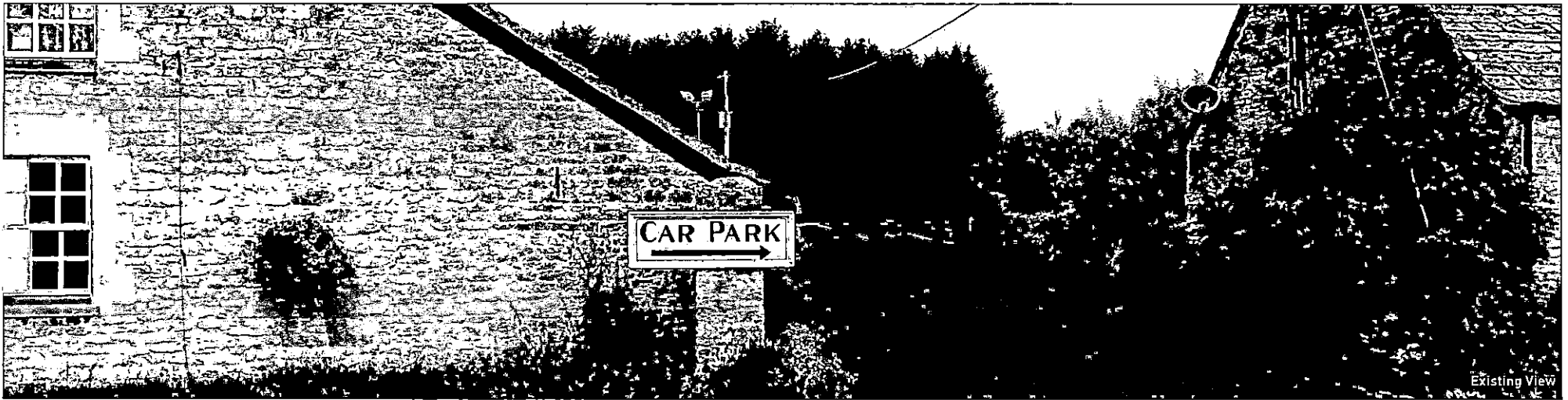
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VISUALISATION 2

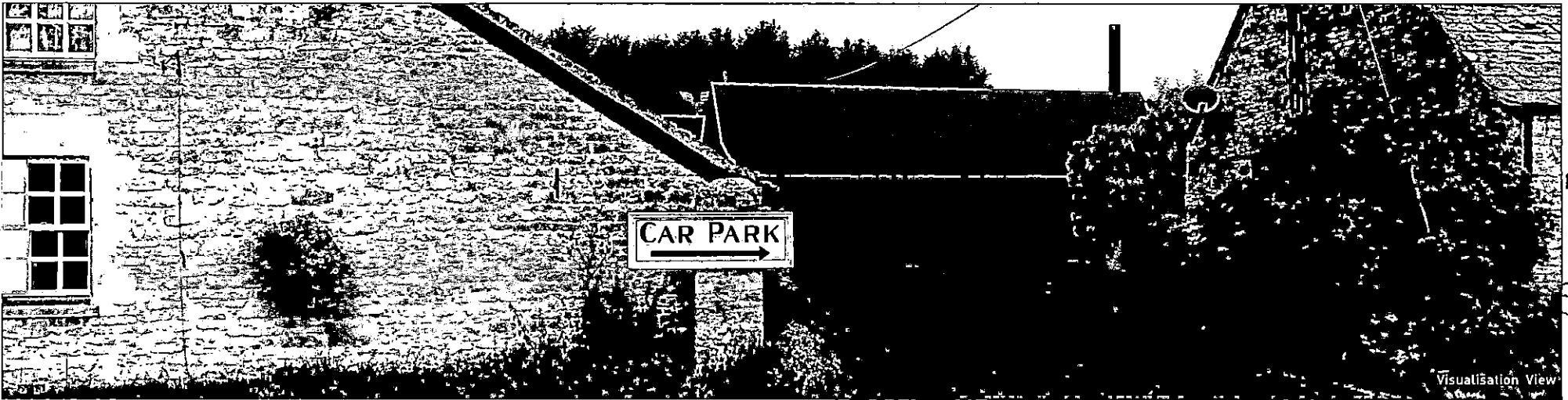
**Hare & Hounds,
Fosse Cross**

Client: Anne Collier
 DRWG No: **P17-0216_01** Sheet No: 2 of 3
 Drawn by: CS Approved by: AD
 Date: 03/08/2017 REV: A





Existing View



Visualisation View



Camera make and model: Canon EOS 5D with a fixed 50mm lens.
 Date & time of photography : 25/07/2017 @ 10:42
 OS reference : 406841, 209438
 Viewpoint height : 168m
 Recommended Viewing distance : 30cm
 Angle of view : 75°
 Camera height set at 1.5m
 Document dimensions (420mm x 297mm)

VISUALISATION 3

**Hare & Hounds,
 Fosse Cross**

Client: Anne Collier
 DRWG No: P17-0216_01 Sheet No: 3 of 3
 Drawn by: CS Approved by: AD
 Date: 03/08/2017 REV: A





86

Revisions:
First Issue - 02/08/2017 AD

Aerial Proposals Overlay
Hare and Hounds, Fosse Cross

Client: Anne Collier
DRWG No: **P17-0216_02**
Drawn by: AD
Date: 02/08/2017
Scale: 1:1,000 @ A3

Sheet No: _ REV: _
Approved by: DRAFT
Pegasus
Environment

